

SHEET INDEX

GENERAL NOTES	
GN	
1	PLAN 241 FOUNDATION PLANS FLOOR PLAN PLUMBING & MECH. PLANS FRAMING PLANS FRAMING SECTIONS & INT. ELEVS. ROOFING SECTIONS & INT. ELEVS. EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
11	PLAN 321 FOUNDATION PLAN FLOOR PLAN PLUMBING & MECH. PLAN FRAMING SECTIONS FRAMING SECTION & INT. ELEVS. EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REV. FOUND. & FLOOR PLAN
20	PLAN 322 FOUNDATION PLANS FLOOR PLANS PLUMBING & MECH. PLANS FRAMING PLANS FRAMING SECTIONS INTERIOR ELEVATIONS EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
30	PLAN 442 FOUNDATION PLANS FLOOR PLANS PLUMBING & MECH. PLANS FRAMING PLANS 3-CAR GARAGE ADDENDA FRAMING SECTIONS INTERIOR ELEVATIONS EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
40	PLAN 522 FOUNDATION PLAN FLOOR PLANS PLUMBING, MECH, ELECT. PLAN FRAMING PLANS FRAMING SECTIONS INTERIOR ELEVATIONS EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
D1	DETAILS FOUNDATION
D2	ROOF
D3	ARCHITECTURAL
D4	ARCHITECTURAL
D5	FIREPLACE
51	TOTAL ORIGINALS

Canyon Creek

LOCATION:
 IRVINE TRACT 19355
 Village of Northwood



MAR. 5, 1980

DATE:

PRINTED:

The Meister Company

2002 Business Center Drive, Suite 200, Irvine, California 92715



B.DRS., WIN. & GL.

GLASS & GLAZING: In locations which may be subject to human impact such as frameless glass doors, glass entrance and exit doors, fixed glass panels, sliding glass doors, shower doors, tub enclosures, and storm doors shall meet the requirements set forth in the uniform building code applicable edition. See table 54-D or 54-E.

EXCEPTIONS: 1. Glass lights located not less than 18 inches above the adjacent finished floor walking surface.
2. Glass lights when the least dimension is no greater than 18 inches.
3. Glass lights when by comparative tests are proven to produce equivalent performance as those set forth in Tables No. 54-D and No. 54-E. See sheet (1) for security requirements.

9. FINISHES

GYPSUM WALLBOARD

INSTALLATION:

- All gypsum wallboard shall be installed in accordance with the provisions of the U.B.C. applicable edition, State and local codes.
- Gypsum wallboard shall not be installed until weather protection for the installation is provided.
- All edges and ends of gypsum wallboard shall occur on the framing members, except those edges and ends which are perpendicular to the framing members. All edges and ends of gypsum wallboard shall be in moderate contact except in concealed spaces where fire-resistant construction or diaphragm action is not required.
- The size and spacing of fasteners shall comply with U.B.C. applicable edition, State and local codes. Fasteners shall be spaced not less than 3/8 inch from edges and ends of gypsum wallboard. Fasteners at the top and bottom plates of vertical assemblies, or the edges and ends of horizontal assemblies perpendicular to supports, and at the wall line may be omitted except on shear-resisting elements, or fire-resistant assemblies. Fasteners shall be applied in such a manner as not to fracture the face paper with the fastener head.
- ALL ROUGHSAWN AND RESAWN surfaces to receive stain. DO NOT prime or paint unless otherwise noted on plans.

15. PLUMBING

GAS PIPING

MATERIALS:

- All pipe used for the installation of any gas piping shall be standard weight wrought iron or steel (galvanized or black), yellow brass (containing not more than seventy-five (75) per cent copper).
- All fitting used in connection with the above piping shall be of malleable iron or yellow brass (containing not more than seventy-five (75) per cent copper).

WATER PIPING

MATERIALS:

- Copper tube for water piping shall have a weight of not less than that of copper water tube type L. Exception: Type M copper tubing may be used for water piping when piping is above ground, and the normal maximum pressure does not exceed 100 pounds, and the working temperature does not exceed 210°F.

WASTE PIPING

MATERIALS:

- All waste piping which penetrates walls with 1 hour fire resistive materials applied shall be cast iron or other non-combustible piping material approved by the uniform building code applicable edition, State and local codes.

COMBUSTION AIR VENTS.

- Combustion air vents and ducts shall be provided with minimum unobstructed combustion air openings equal to that set forth in the table below.
- Where the floor area of the appliance compartment is less than twice the floor area of the appliances therein, the minimum total free area shall be not less than 200 square inches.
- Where the floor area of the appliance compartment is more than twice the floor area of the appliances therein, the minimum total free area shall be not less than 100 square inches.
- All required combustion air supply openings in any appliance enclosure provided that such enclosure is not less than 50 square feet in area and there is an equivalent area of such combustion air supply opening extending to the firebox.

TABLE NO. 6A-COMBUSTION AIR REQUIREMENTS FOR FUEL-BURNING EQUIPMENT.

Input	Minimum total free area of ducts or openings, where floor area of compartment is less than twice the floor area of the appliances therein.	Minimum total free area of ducts or openings, where floor area of compartment is more than twice the floor area of the appliances therein.
0 Through 500,000 BTU'S	2 sq. in. for each 1000 BTU's	1 sq. in. for each 1000 BTU's
500,000 Through 1,000,000 BTU'S	1000 sq. in. plus 2 sq. in. for each 1500 BTU's over 500,000 BTU's	500 sq. in. plus 1 sq. in. for each 1500 BTU's over 500,000 BTU's
over 1,000,000 BTU'S	1666 sq. in. plus 2 sq. in. for each 2000 BTU's over 1,000,000 BTU's	833 sq. in. plus 1 sq. in. for each 2000 BTU's over 1,000,000 BTU's

16. ELECTRICAL

WORKMANSHIP:

- All work shall be in full accordance with all codes, rules and regulations of governing agencies and shall comply with the requirements of the serving power and telephone companies.

INSTALLATION:

- All equipment installed outdoor and exposed to weather shall be weather-proof.
- Receptacles in kitchen and bathrooms shall be installed above work top unless otherwise noted on plans.
- Receptacles shall be installed vertically at 12" above floor.
- Wall switches to be 42" above floor.

WOOD SHINGLES:

- Shingles may be applied to roofs with solid or spaced sheathing. The spaced sheathing shall be spaced not to exceed 6 inches clear, nor more than the width of the sheathing board. Sheathing boards shall be not less than one inch by 4 inches nominal dimensions.
- Shingles shall be laid with a side lap of not less than 1 1/2 inches between joints in adjacent courses, and 1/2 inch in alternate courses. Spacing between shingles shall be not less than 1/4 inch nor more than 3/8 inch. Each wood shingle shall be fastened to the sheathing with two nails only.
- Shingles shall not be installed on a roof having a slope less than 4 inches to 12 inches unless they are installed over an underlayment of not less than 15-pound felt, applied as required for a base sheet, and unless approved by the Building Official.
- Roof valley flashing shall be provided of not less than No. 28 galvanized sheet gauge corrosion-resistant metal and shall extend at least 6 inches from the center line each way, and shall have a splash diverter rib not less than 3/4 inch high at the flow line formed as part of the flashing. Sections of flashing shall have an end lap of not less than 4 inches.
- Weather exposures shall not exceed those set forth in Table No. 32-A. Hip and ridge weather exposures shall not exceed those permitted for the field of the roof.
- Each bundle of wood shingles for roofs shall bear the label of an approved inspection bureau or agency certifying compliance with U.B.C. Standard No. 32-11.
- Nails for wood shingles shall be not less than No. 14 1/2 gauge corrosion-resistant and shall be long enough to penetrate into the sheathing 3/4 inch, or through the thickness of the sheathing, whichever is less.

TILE, CLAY AND CONCRETE:

- All roof tile shall be securely fastened with corrosion-resistant nails or nails and wire conforming to the provisions of Section 3203 (c), paragraphs 5 and 9, or other approved means.
- Tile shall not be installed on a roof having a slope of less than 3 inches to 12 inches unless approved by the Building Official.
- Tile with projecting anchor lugs at the bottom of the tiles shall be held in position by means of 1-inch by 2-inch wood stripping nailed to the roof sheathing over the underlayment.
- Tile roofs shall have an underlayment of not less than two layers of 15-pound felt or one layer of 30-pound felt, applied as required for a base sheet.
- Roof valley flashing shall be the same as required for wood shingles.
- Nails for clay or concrete tile shall be not less than No. 11 gauge corrosion-resistant, and shall be long enough to penetrate into the sheathing 3/4 inch, or through the thickness of the sheathing, whichever is less.
- EXCEPTION: Approved tiles of clay or concrete designed to be held in place by lugs engaging battens, may be installed in accordance with their approvals.
- All roof sheathing at tile roofs shall be solid sheathing.

WOOD SHAKES:

- Shakes may be applied to roofs with solid or spaced sheathing. The spaced sheathing shall be spaced not to exceed 6 inches clear, nor more than the width of the sheathing board. Sheathing boards shall be not less than one inch by 4 inches nominal size. In snow areas sheathing shall be solid and shakes shall be applied over an underlayment of not less than 15-pound felt, applied as required for a base sheet.
- Shakes may be laid in straight or staggered courses. Shakes shall be laid with a side lap of not less than 1 1/2 inches between joints in adjacent courses. Edges shall be paralleled within 1 inch. Spacing between shakes shall be not more than 1/2 inch.
- Each wood shake shall be fastened to the sheathing with two nails only. The starter course at the eaves shall be doubled and the bottom or first layer may be either 15-inch or 18-inch wood shakes or wood shingles. Fifteen-inch or 18-inch shakes may be used for the final course at the ridge.
- Shakes shall be laid with not less than 18-inch wide strips of not less than 30-pound felt shingled between each course in such a manner that no felt is exposed to the weather below the shake butt.
- Shakes shall not be installed on a roof having a slope less than 4 inches to 12 inches unless they are installed over an underlayment of not less than 30-pounds felt, applied as required for a base sheet, and unless approved by the Building Official.
- Each bundle of wood shakes for roofs shall be of Western red cedar or redwood and shall bear the label of an approved inspection bureau or agency certifying compliance with U.B.C. Standard No. 32-8.
- Nails for wood shakes shall be the same as required for wood shingles.

7. MOISTURE PROTECT.

FLASHING:

- All flashing, counterflashing, and coping when of metal shall be of not less than No. 26 U.S. gauge corrosion-resistant metal.
- Flash & counterflash at all roof to wall conditions. G.I. flash and caulk wood beams and overhangs projecting beyond exterior walls or roof surfaces.
- Flash all exterior openings with approved waterproofing, which conforms to standard of local and State codes.

INSULATION:

- All ceiling under roof shall receive insulation per requirements of State and local codes.
- All exterior walls of house to receive insulation for full height of studs per requirements of State and local codes.

EXTERIOR FINISHES

WEATHER STRIPPING:

- All exterior exit doors to be weather stripped in accordance with State Energy Standards Title 24 residential energy standards.

MATERIALS:

- All exterior materials shall conform to the requirements of the uniform building code applicable edition, State and local codes.

WOOD AND EARTH SEPARATION:

- No untreated wood except foundation Redwood shall be nearer than 6 inches to any earth unless separated by concrete at least 3 inches in thickness with an impervious membrane installed between the earth and concrete.

FLOOR SHEATHING:

- Plywood combination subfloor-underlayment sheathing continuous over two or more spans shall be minimum 5/8" thick tongue-and-groove and have a panel identification index as required for the floor joist spacing (see plans) and shall be underlayment grade, C-C (plugged) and all grades of sanded exterior type Plywood in group species of 1,2, or 3. Where floor joists spacing is 48" o.c. use 1 1/8" thick tongue and groove 2x4-1 (exterior glue) Plywood in group species of 1,2, or 3.

FRAMING PRACTICES:

WORKMANSHIP:

- All members shall be framed, anchored, tied, and braced so as to develop the strength and rigidity necessary for the purposes for which they are used.

BEAMS AND GIRDERS:

- The ends of beams or girders supported on masonry or concrete shall have not less than 4 inches of bearing.
- All beam or girders supported on wood shall have full bearing and bearing shall be comprised of (1) one solid support or a built-up support constructed in an approved manner unless otherwise specified on plans.

FLOOR JOISTS:

- (Bearing) Except where joists are supported on a 1-inch by 4-inch ribbon strip and nailed to the adjoining stud, the ends of each joist shall have not less than 1 1/2 inches of bearing on wood or metal, not less than 3 inches on masonry.
- (Blocking) Joists shall be supported laterally at the ends and at each support by solid blocking except where the ends of joists are nailed to a header, band or rim joist or to an adjoining stud or by other approved means. Solid blocking shall not be less than 2 inches in thickness and the full depth of joist.

CEILING JOISTS:

- (Notches and Holes) Notches on the ends of joists shall not exceed one-fourth the joist depth. Holes bored in joists shall not be within 2 inches of the top or bottom of the joist and the diameter of any such hole shall not exceed one-third the depth of the joist. Notches in the top or bottom of joists shall not exceed one-sixth the depth and shall not be located in the middle third of the span.

ROOF JOISTS:

- (Bearing) Except where joists are supported on a 1-inch by 4-inch ribbon strip and nailed to the adjoining stud, the ends of each joist shall have not less than 1 1/2 inches of bearing on wood or metal, not less than 3 inches on masonry.
- (Blocking) Joists shall be supported laterally at the ends and at each support by solid blocking except where the ends of joists are nailed to a header, band or rim joist or to an adjoining stud or by other approved means. Solid blocking shall not be less than 2 inches in thickness and the full depth of joist.

PLYWOOD:

Subfloor, roof and wall sheathing (to framing):	8	6D-2
1/2"-3/4"	8D-3	6L-4
7/8"-1"	8L-2	
1 1/8"- 1 3/4"	10D-3	8L-4

COMBINATION Subfloor-underlayment (to Framing):

3/4" and less	6L-4
7/8"-1"	8L-4
1 1/8"- 1 3/4"	10D-3 or 8L-4

Panel Siding (to framing):

1/2" or less	6L-6
5/8"	8L-6

2" planks

	2-16D at each bearing
--	-----------------------

SOFTWOOD:

Joist to sill or girder, toe nail	3-1D
-----------------------------------	------

Bridging to joist, toe nail each end

	2-1D
--	------

1"X6" subfloor to each joist, face nail

	2-1D
--	------

Wider than 1"X6" subfloor to each joist, face nail

	3-1D
--	------

2" subfloor to joist or girder, blind and face nail

	2-6D
--	------

Sole plate to joist or blocking, face nail- 16D at 16" o.c.

	2-6D
--	------

Top plate to stud, end nail

	2-1D
--	------

Doubled studs, face nail-

	16D at 16" o.c.
--	-----------------

Doubled top plates, face nail-

	16D at 16" o.c.
--	-----------------

Top plates, laps and intersections, face nail

	2-16D
--	-------

Continuous header, two pieces

	(along each side)
--	-------------------

Ceiling joists to plate, toe nail

	3-1D
--	------

Continuous header to stud, toe nail

	4-1D
--	------

Ceiling joists, laps over partitions, face nail

	3-1D
--	------

Ceiling joists to parallel rafters, face nail

	3-1D
--	------

Rafter to plate, toe nail

	3-1D
--	------

1" brace to each stud and plate, face nail

	2-3D
--	------

1"X8" sheathing or less to each bearing, face nail

	2-3D
--	------

Wider than 1"X8" sheathing to each bearing, face nail

	3-3D
--	------

Built-up corner studs-

	16D at 24" o.c.
--	-----------------

Built-up girder and beams-

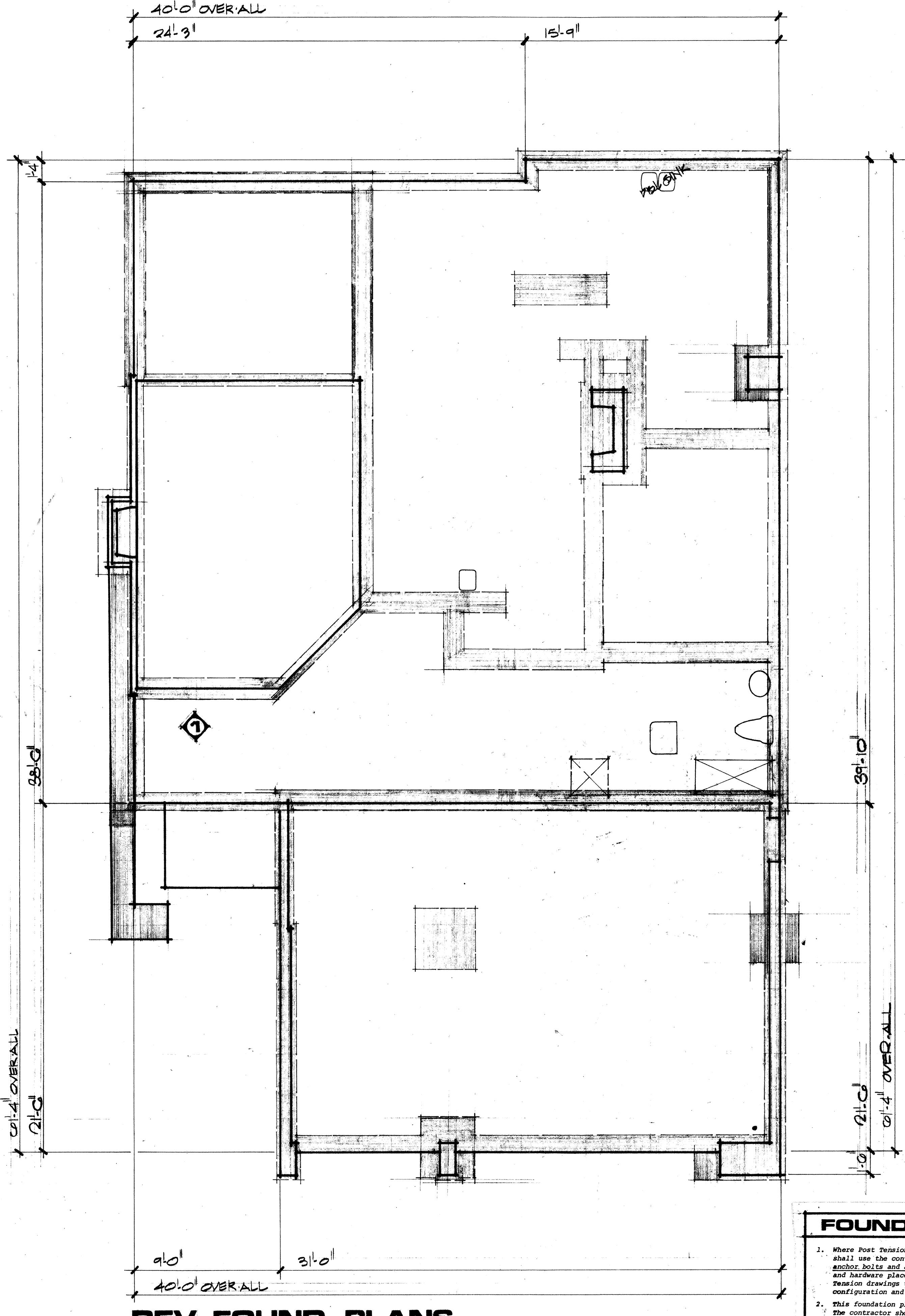
	20D at 32" o.c. at top and bottom and staggered 2-20D at ends and at each splice.
--	---

2" planks

	2-16D at each bearing
--	-----------------------

PLATES, SILLS AND SLEEPERS:

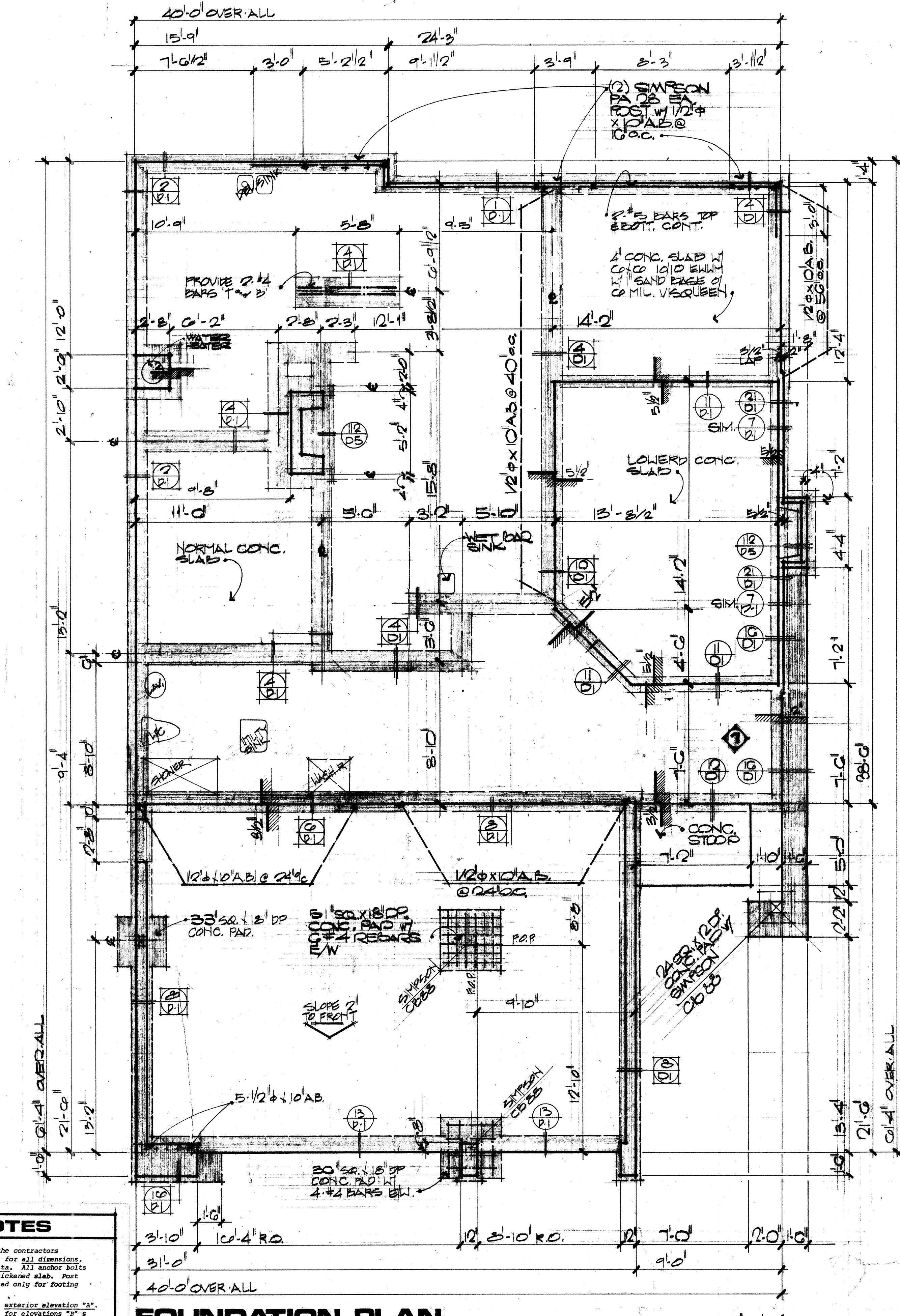
<h4



REV. FOUND. PLANS

FOUNDATION NOTES

1. Where Post Tension concrete slabs are required the contractors shall use the conventional foundation plan above for all dimensions, anchor bolts and all other structural related data. All anchor bolt and hardware placement requires a minimum 12" thickened slab. Post Tension drawings to be by others and shall be used only for foot configuration and tendon placement.
 2. This foundation plan has been drawn to match the exterior elevations. The contractor should see the elevation addendas for elevations "C" for design changes that may occur. All structural notes and information reflected on basic plan shall apply to all elevations unless noted otherwise.
 3. Provide $\frac{1}{2}$ " dia. x 10" A.B. @ 72" o.c. unless noted otherwise.
 4. Provide Ufer ground $\frac{1}{2}$ " dia. x 20' reinforcement bar at electrical service.

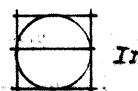


FOUNDATION PLAN

SCALE: 1/4" - 1'-0"



 Indicates one story footing



 Indicates two story footing.

PLAN NOTES

Indicates floor plan note location.

- 1** Provide fire resistive material between garage & second floor, 5/8" Type "X" fire shield gyp. bd. nailed w/6d cooler nails at 7" o.c. All framing members to be 16" o.c.
- 2** Provide fire resistive material between house & garage w/one layer 5/8" Type "X" gyp. bd. w/6d cooler nails @ 7" o.c. on garage wall side to roof sheathing or floor above.
- 3** Provide 5/8" Type "X" gyp. bd. applied to bottom side of stringers & adjacent walls under stairs.
- 4** 22"x30" attic access.
- 5** 30" high handrail, see detail.
- 6** 32" high handrail, see detail.
- 7** 42" high handrail @ stair landing, see detail.
- 8** Dead bolt @ top of door.
- 9** Dead bolt @ top & bottom of door.
- 10** Tile @ entry.
- 11** Open grade planter below exposed stair stringers. Provide hose bib.
- 12** Floating soffit - see Framing Section.
- 13** Mirrored wardrobe door.
- 14** Sculptured planter niche w/drywall liner
- 15** Fireplace w/24" deep brick hearth to be installed with fully operational damper shut-off, and must be tight closing to allow for airbourne sound attenuation.

NOTES:

1. This floor plan has been drawn to match ext. elev. A. See floor plan elevation addendas for elevations B & C for any conditions that may vary due to design changes.
 2. All dimensions shown in plan relate dimensionally to face of studs, typically.
 3. All doors, windows and glazing shall conform to the building security requirements per local city ordinances.
 4. All glazing to be double-strength glass.

INSULATION:

WALLER-13

BOOFER-19

SQ. FT.

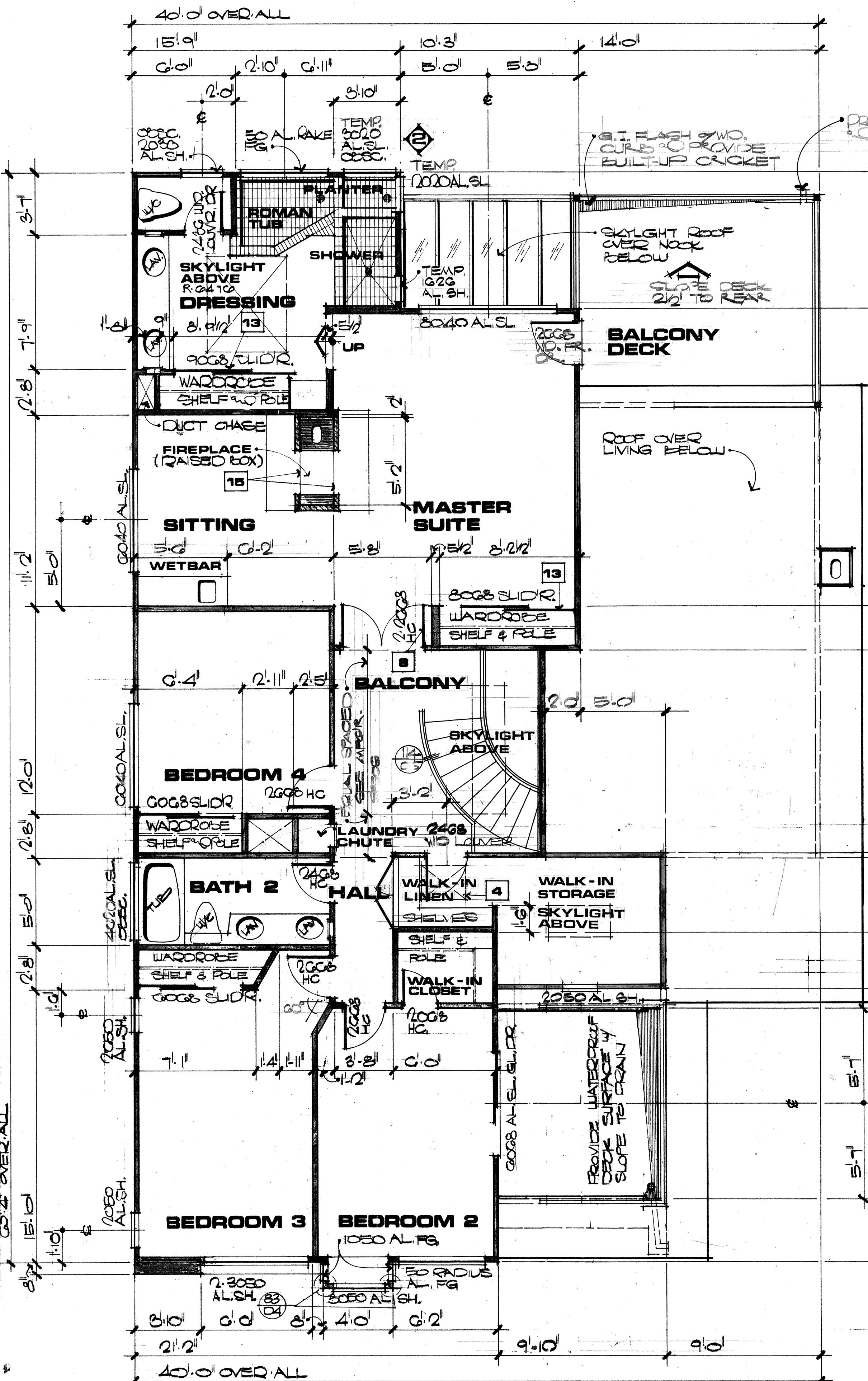
LIVING 2900 TOTAL

1,000 SQ.FT.

GARAGE 713 SQ. FT. BARN 22' x 22'

SECOND FLOOR PLAN

1355 SQ. FT.



FIRST FLOOR PLAN

1545 SQ.FT.

SCALE: 1/4" = 1-0"

FLOOR PLANS

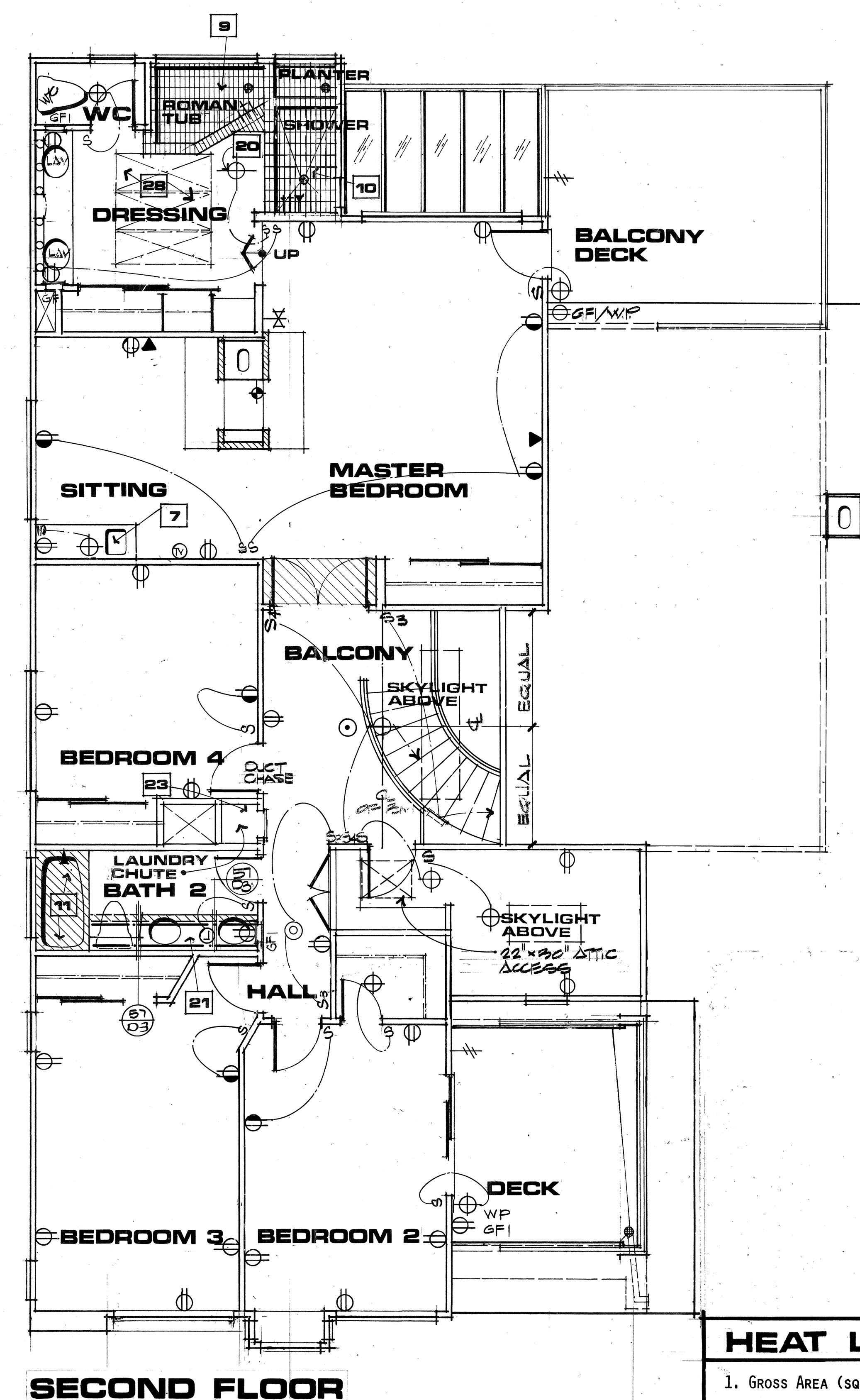
PLAN 522

41

FLOOR PLAN NOTES

- 1 21"x32" dbl. kitchen sinks w/ garbage disposal.
- 2 Built-in dishwasher w/24" min. space.
- 3 30" cook top w/hood and light over. (Vent to outside air.)
- 4 Provide built-in double oven w/microwave.
- 5 39" refrigerator space (plumb. ice maker).
- 6 Optional trash compactor.
- 7 9"x12" stainless steel wet bar sink.
- 8 Fiber glass utility sink. See Interiors.
- 9 Ceramic tile Roman tub over hot mopped framed area. See floor plan for dimensions & ceramic tile wainscot application & applicable details. Provide curtain rod where applicable. Min. 12" deep from top of dam to bottom of tub.
- 10 Ceramic tile hot mopped shower w/ceramic tile wainscot as per floor plan & details. Provide shatter-proof glass enclosure (3/16 tempered clear plate glass).
- 11 32"x60" cast iron tub w/ ceramic wainscot to underside of soffit above.
- 12 Provide waste & water for washing machine.
- 13 Dryer vent to outside air (See General Notes).
- 14 Water heater to be strapped for lateral support if non-rigid water connections are not used.
- 15 Provide 24" high wood platform for water heater.
- 16 24" high platform for FAU & water heater. (3" diameter pipe column required if platform under 24" from floor).
- 17 Provide 16" high platform for FAU w/return air supply below (min. 200 sq. inches).
- 18 Return air supply (min. 200 sq. inches opening).
- 19 Provide 1 sq. inch for each 1000 BTUs under 500 combustion air ventilation within 12" from ceiling.
- 20 Hanging fixture.
- 21 Luminous light soffit over pull-man. See detail.
- 22 22"x30" luminous light away. Attic access.
- 23 Laundry chute w/sheet metal liner and door.
- 24 Provide 3" PVC drain-pipe to daylight.
- 25 All FAU ducts penetrating occupancy separation walls shall be constructed of minimum 26" gauge steel.
- 26 Termination of all mechanical vents shall comply to Section 906 of the Uniform Building Code.
- 27 Provide drain for planting area.
- 28 Skylight above - see plan for model number.
- 29 Luminous light soffit above - see detail.
- 30 Mechanical wall.
- 31 All smoke detectors shall be interconnected and approved for same by State Fire Marshal.

INSULATION:
WALL = R-13
ROOF = R-30



SYMBOLS

Electrical & Mechanical:	
●	110 V wall outlet
●	1/2 hot 110 V outlet
●	110 V floor outlet
●	Ground fault interupter
●	220 V outlet
●	Switch
●	3 way switch
●	Ceiling light
●	Plumb. for ice maker
●	Flush ceiling light
●	Bracket light
●	1/2 min. air exchange fan
●	Chimes
●	Doorbell pushbutton
●	Telephone jack
●	Thermostat
●	Smoke detector
●	TV outlet
●	WP GFI
●	Jay box
●	Hose bibb
●	Hose bibb w/shutoff
●	Tog lighter
●	Fuel gas
●	Recessed can light
●	Check valve
●	Vaccum cleaner stub
●	Luminous address light
●	Return air

HEAT LOSS

1. GROSS AREA (SQ.FT.): 2,900 SQ.FT.
2. ALLOWABLE GLAZING: 464 SQ.FT.
3. PROPOSED GLAZING: 651 SQ.FT.
4. PROPOSED DESIGN:

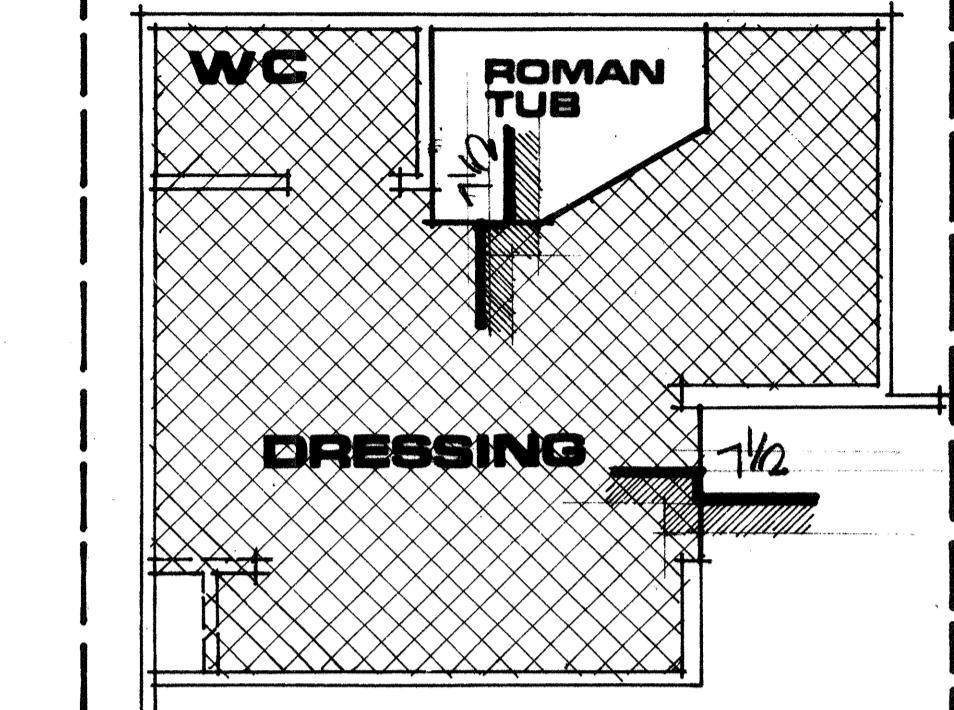
A. SINGLE SKYLIGHTS	515 SQ.FT.
B. SINGLE SKYLIGHTS	119 SQ.FT.
C. SINGLE FRENCH DOORS	17 SQ.FT.
5. SEE MECHANICAL HEAT LOSS CALCULATIONS BY RICHARD A. PALMER AND ASSOCIATES.
6. MAX. BONNET CAPACITY: 95,654 BTU
7. PROVIDE R-13 WALL / R-30 ROOF INSULATION.

FIRST FLOOR

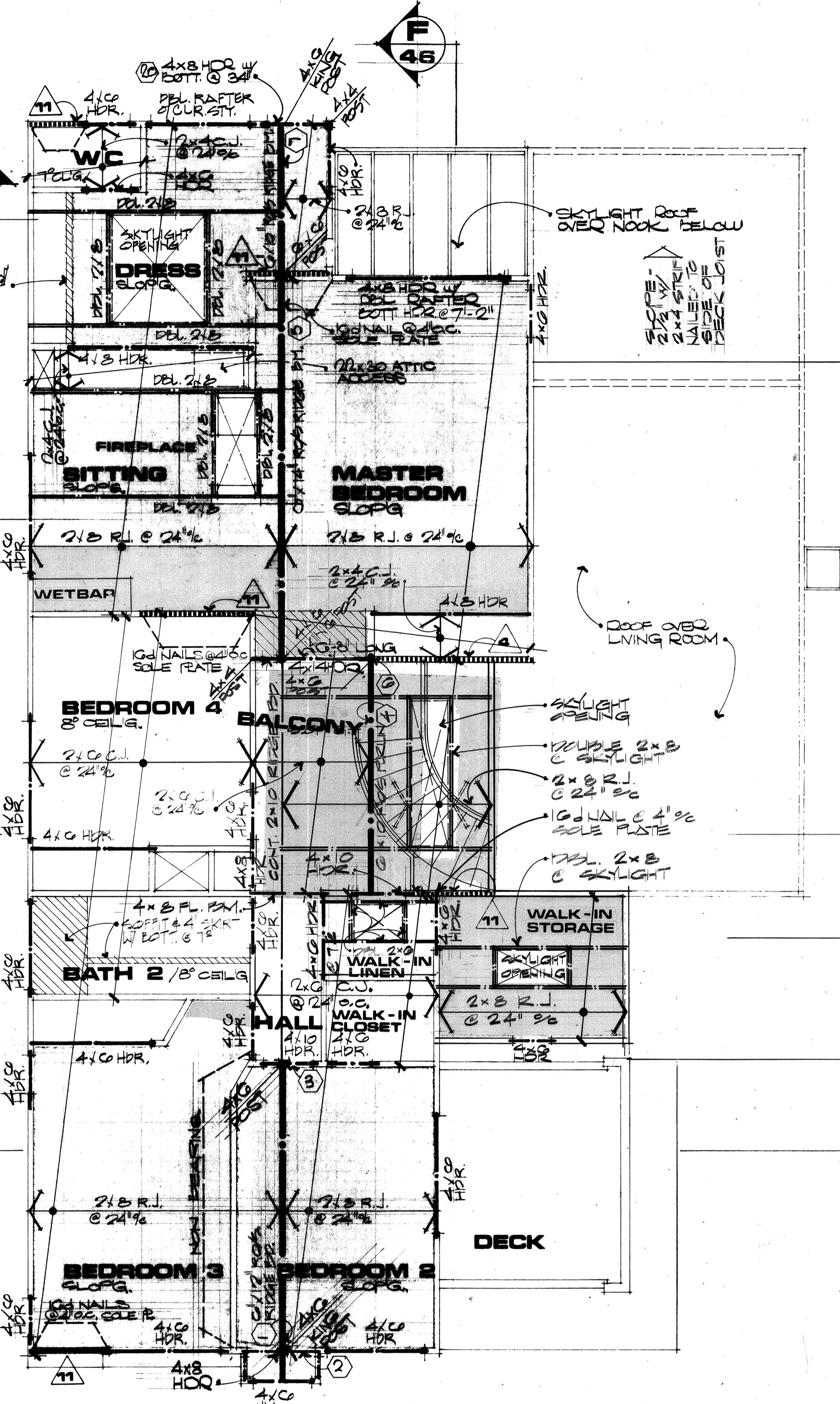
Note: Appliances installed in garages which generate a glow, spark or flame capable of igniting flammable vapors shall be installed with pilots & burners or heating elements & switches at least 18 inches above the floor level (Ref: Section 508 of the Uniform Mechanical Code).

NOTE:
ALL LOW FLOW WATER FIXTURES PURSUANT TO STATE LAW. ALSO INCLUDE APPLIANCE EFFICIENCIES.

RAISED FLOOR AREA W/ 2X8 SLEEPERS @ 16" O.C.
LAD PERPENDICULAR OVER FLOOR MEMBERS DIRECTLY
WITHOUT SHEATHING APPLIED BELOW

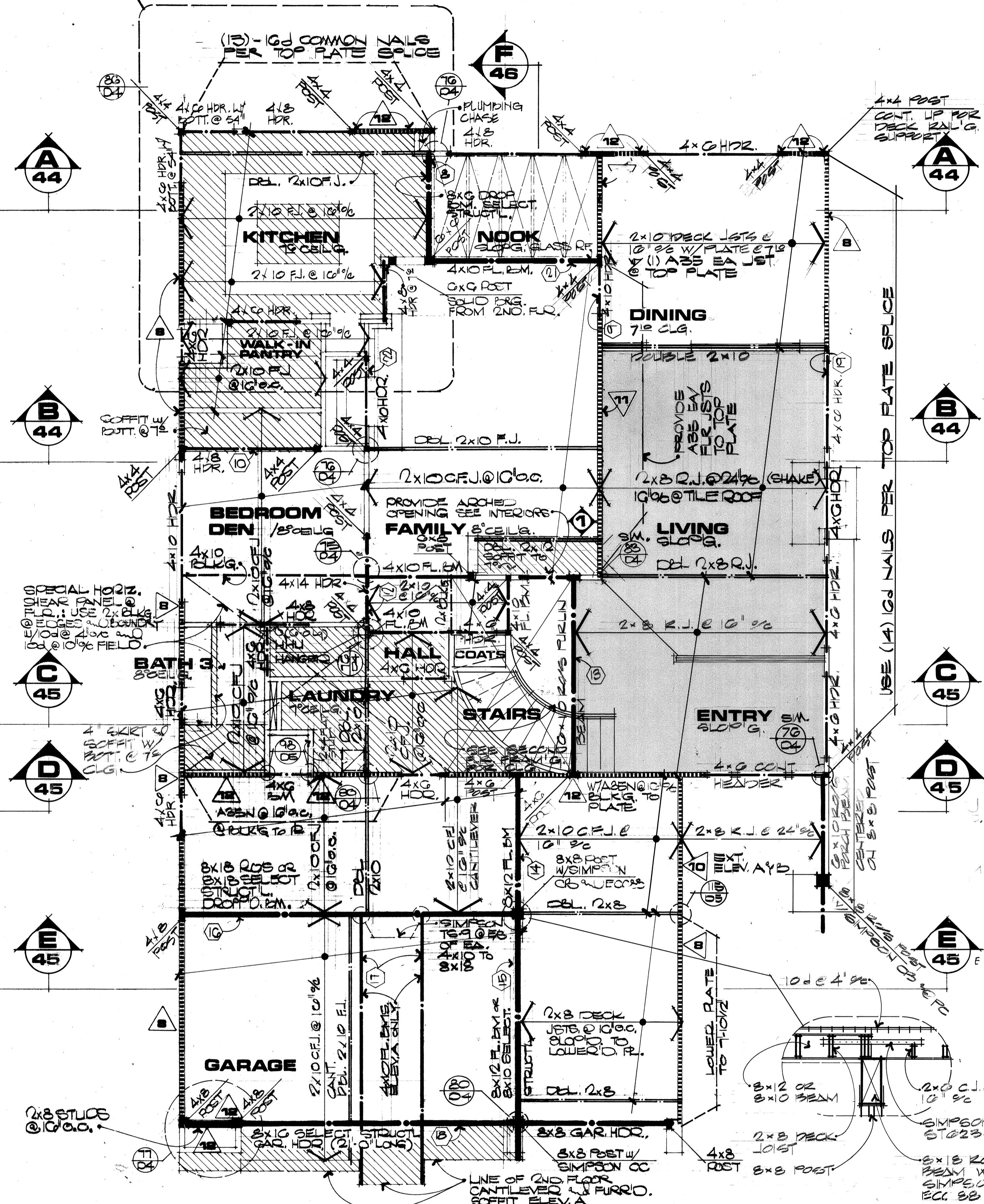


FLOOR ADDENDA @ B 44
DRESSING



SECOND FLOOR ROOF FRAMING PLAN

STRUCTURAL NOTES:	NOTES	SYMBOLS
8 7/8" stucco over paper backed lath w/16 gauge staples at 6" o.c. at top & bottom plates, edge of shear wall and on field (ICBO Report No. 1823, Feb. 1977)	180 #/1	Sloping Ceiling Shear Panel Furred Soffit Structural calc Built-up floor
10 3/8" Structural II Plywood with 8d nails @ 6" o.c. at edges & 12" o.c. field (Table 25K UBC) 260 #/1	1. All "T&G" Plywood to be glued to floor member & applied w/king shank nails or screws (approved by Meister Co.) within 6 hrs. of application. 2. All "T&G" Plywood to be blocked @ all butt edges. 3. All 2x joists, or rafters to be No. 2 grade WCFD. 4. All 4x & greater beams and headers to be No. 1. 5. See General Notes sheet No. GN for Nail Schedule, & all other carpentry requirements.	
3/8" Structural II Plywood with 8d nails @ 4" o.c. at edges & 12" o.c. field (Table 25K UBC) 380 #/1	Studs at exterior wall with sloping ceilings shall extend from floor to roof without intermediate plates unless plates are designed. Maximum heights: 2x4-14ft. (2)2x4-16ft. (3)2x4-18ft. 2x6-20ft.	
12 3/8" Structural II Plywood with 8d nails @ 24" o.c. at edges & 12" o.c. field (Table 25K UBC) 570 #/1		



**FIRST FLOOR ROOF
SECOND FLOOR FRAMING PLAN**

Note: This framing plan has been drawn to match the exterior elevation "A". The contractor should see the elevation addendas for elevations "B" & "C" for design changes that may occur. All structural notes and information reflected on basic plan shall apply to all elevations unless noted otherwise.

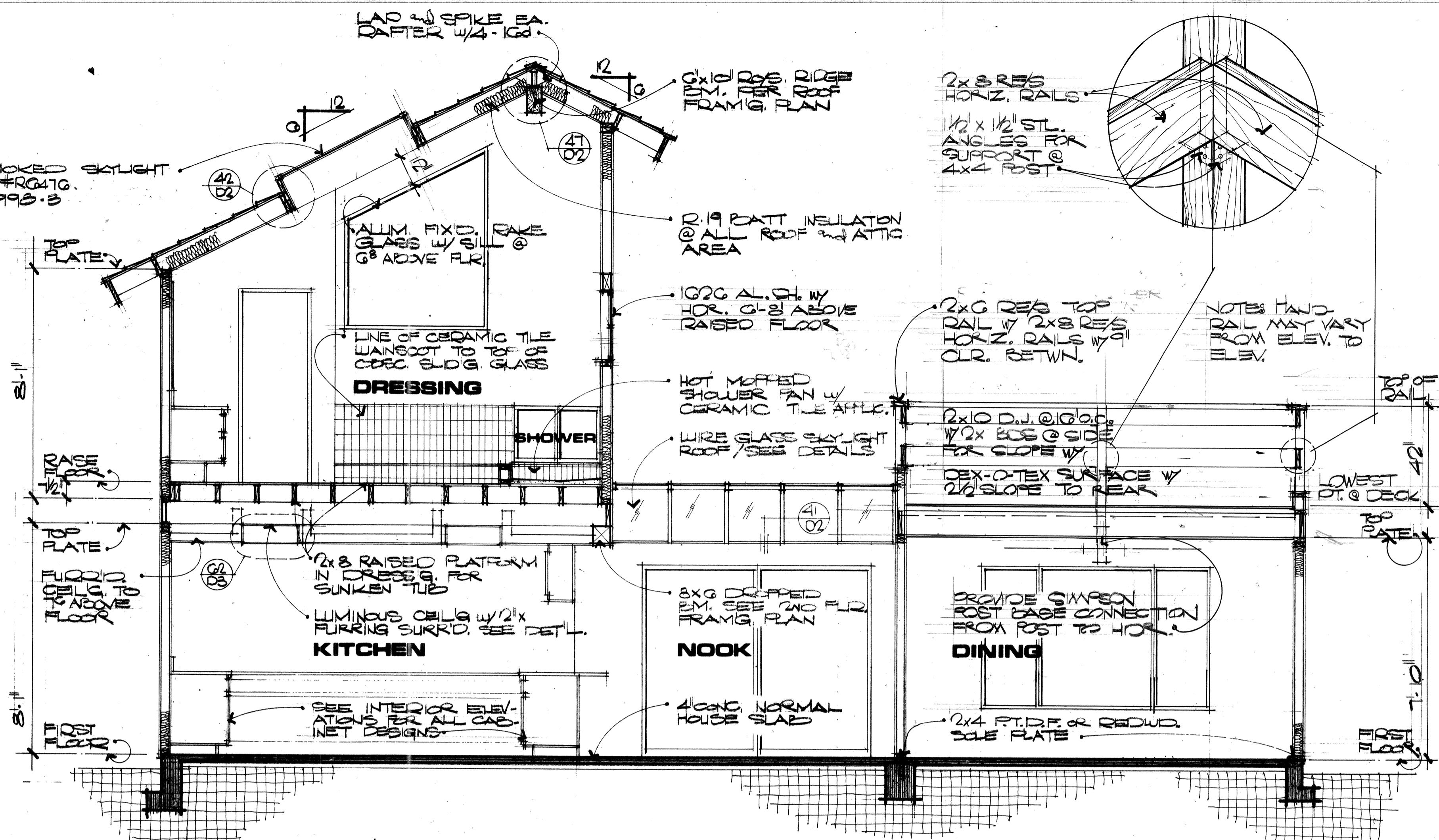
SCALE: 1/4'-0"

SHEET NUMBER

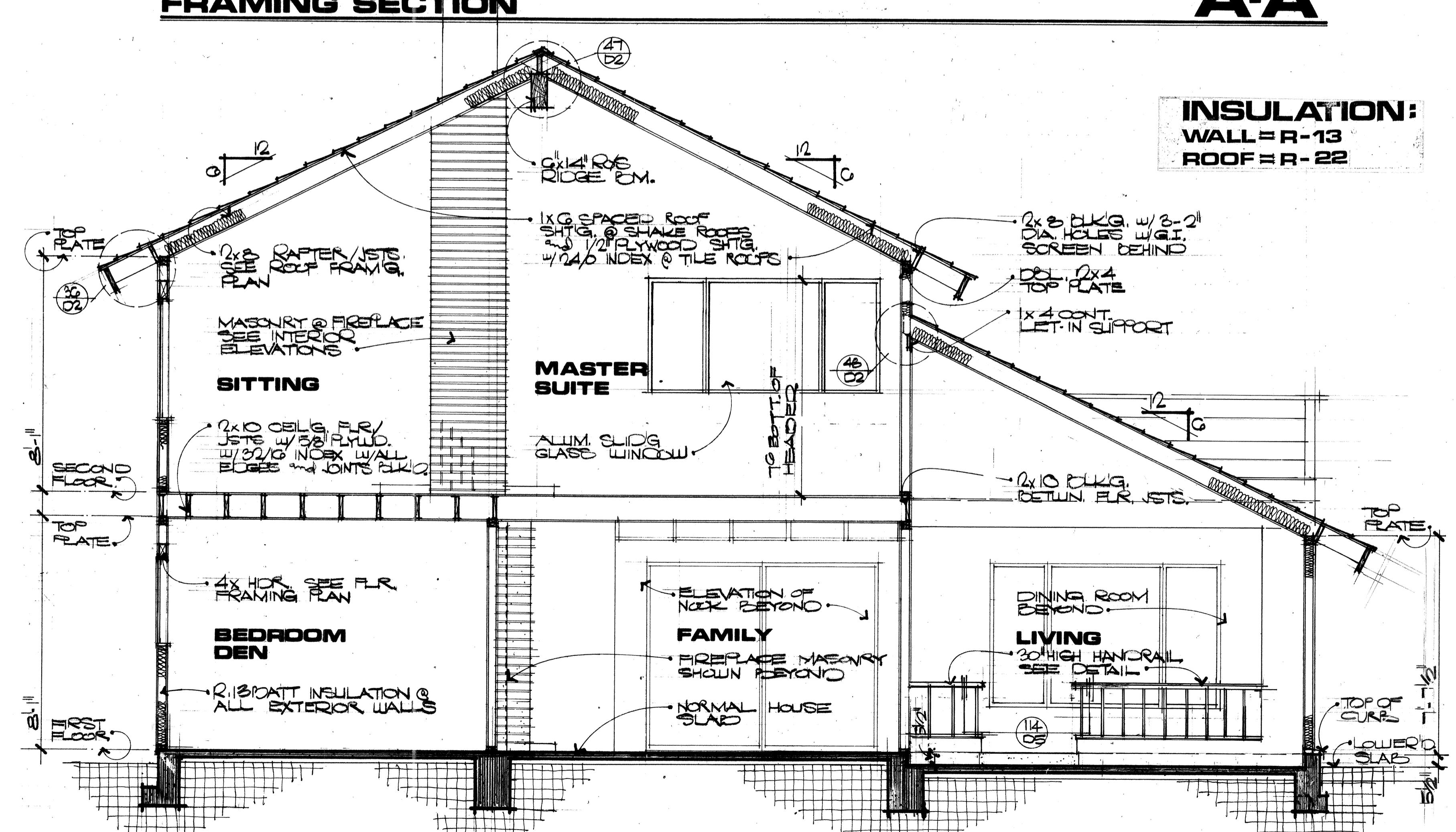
43

FRAMING PLANS

PLAN 522



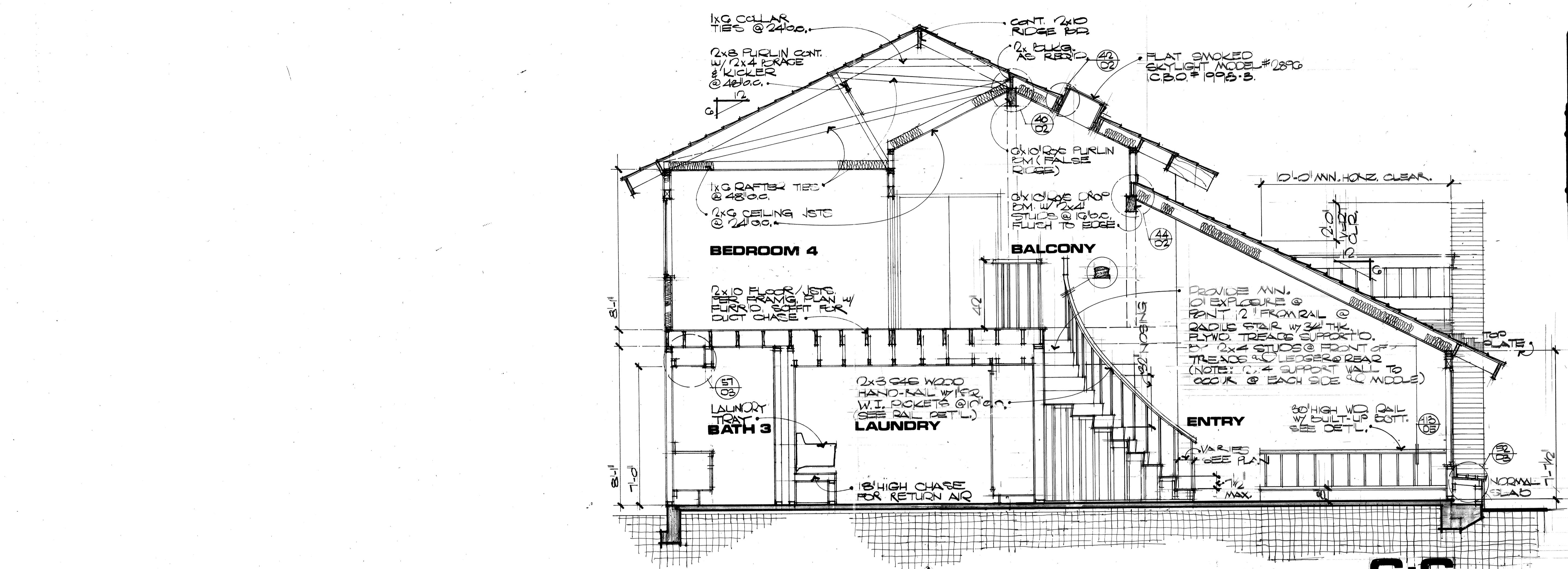
FRAMING SECTION



FRAMING SECTION

SCALE: 3/8'-1-0"

FRAM'G SECT'NS PLAN 522

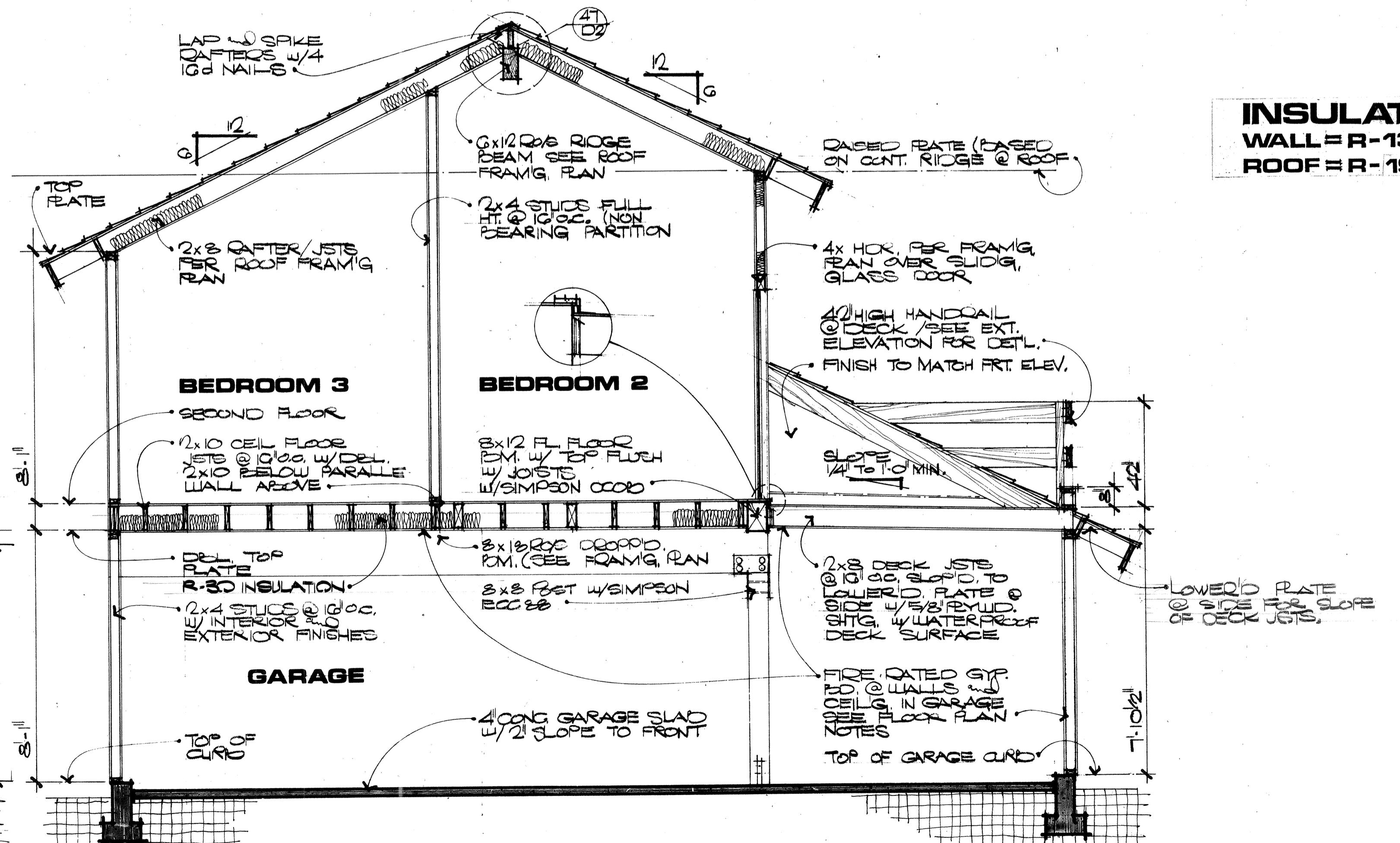
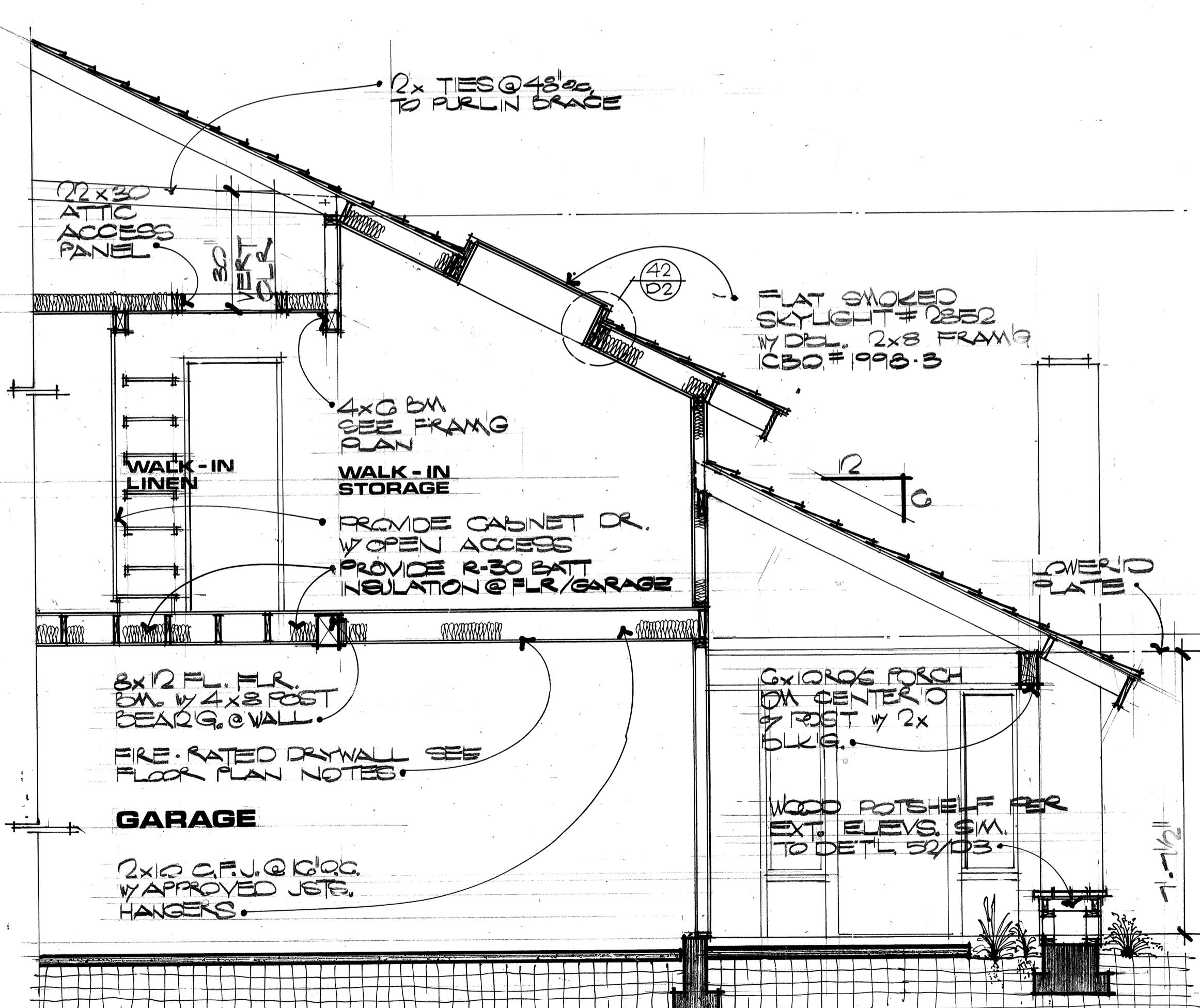


CR DESIGN

208B BUSINESS CENTER DRIVE
ROUTE 25
TROY, NY 12180

C.R. DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.

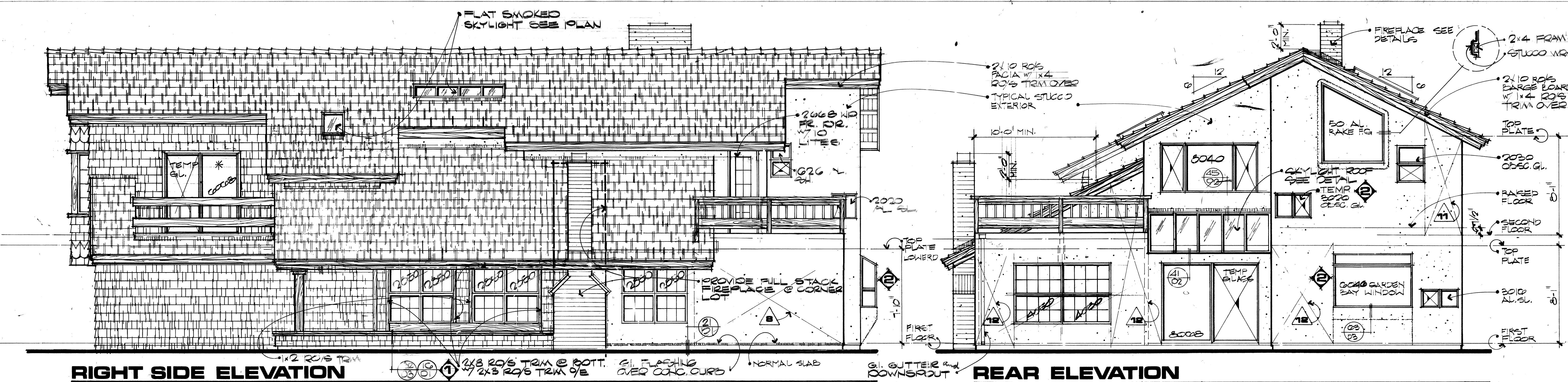
FOR CONSTRUCTION



45

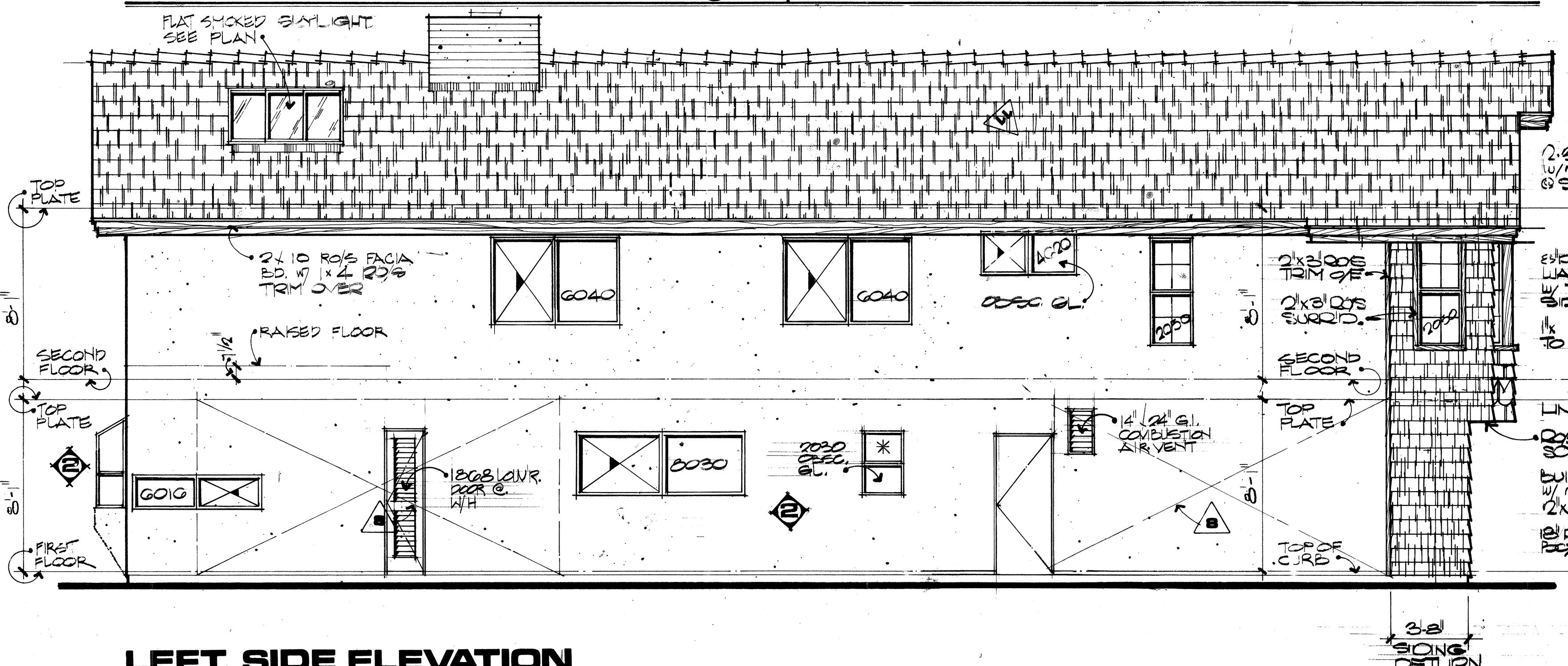
FRAM'G SECT'NS PLAN 522

SCALE: 3/8'-0"

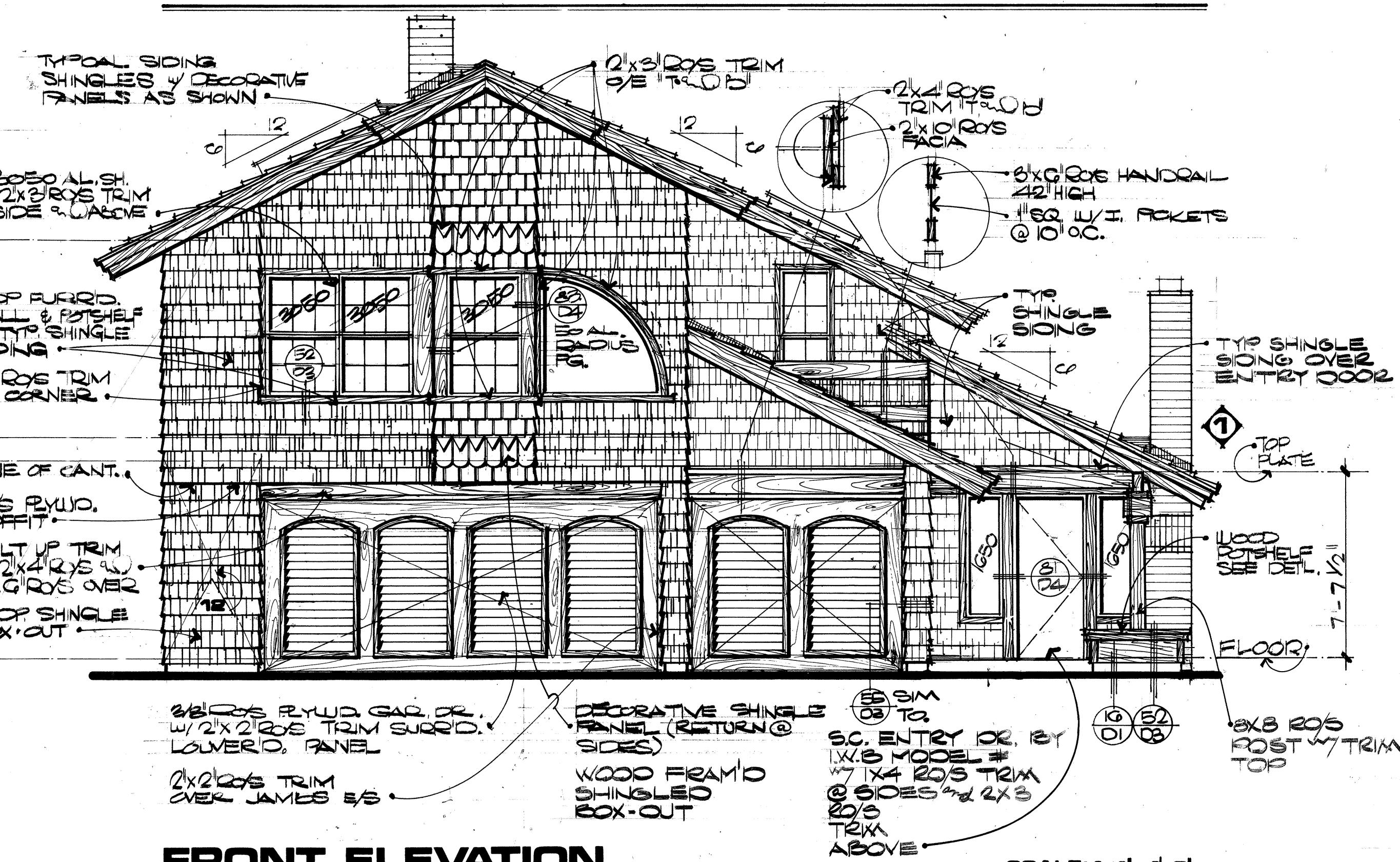


RIGHT SIDE ELEVATION

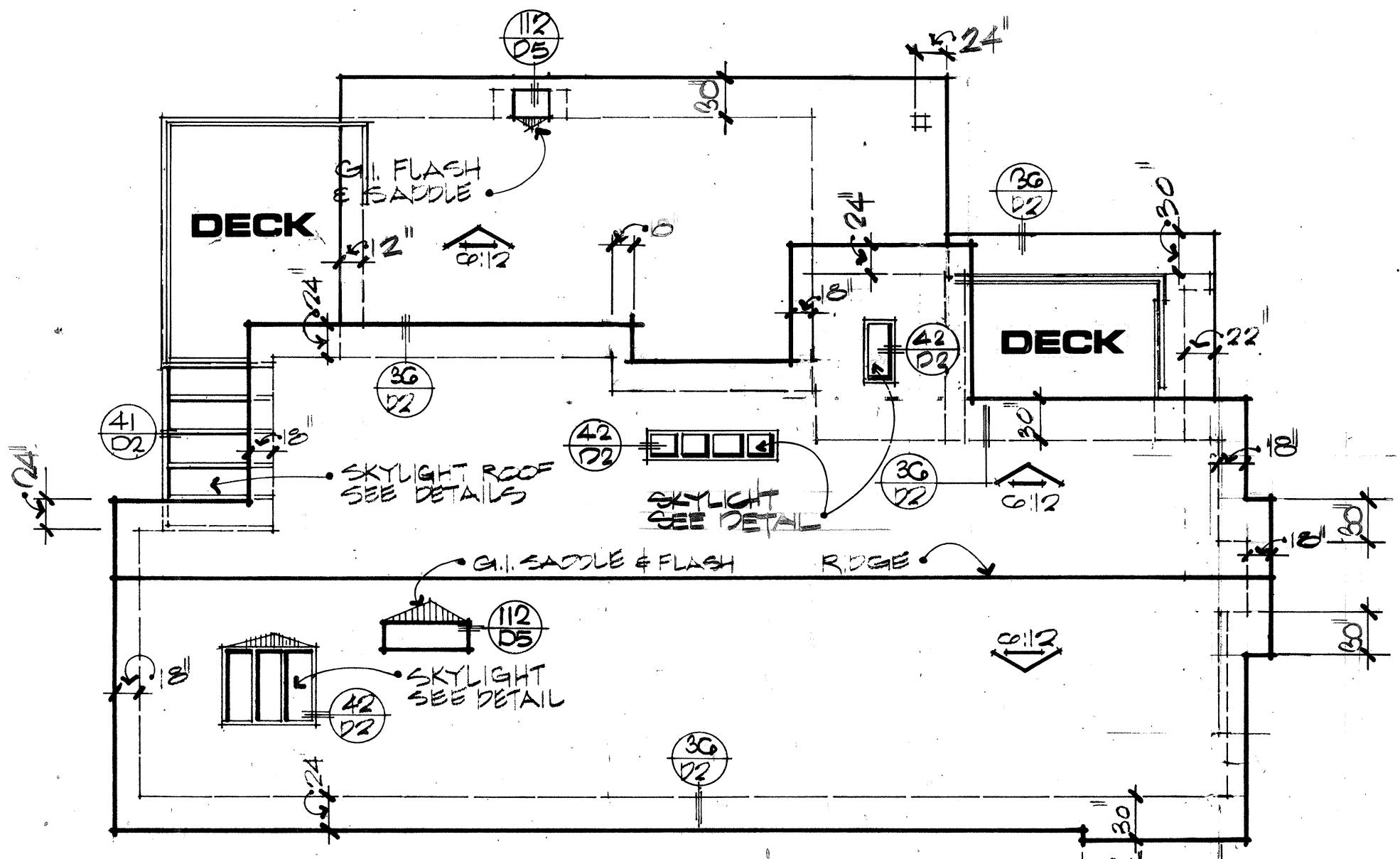
REAR ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



ROOF PLAN

SCALE: 1/8"-1'-0"

STRUCTURAL NOTES:

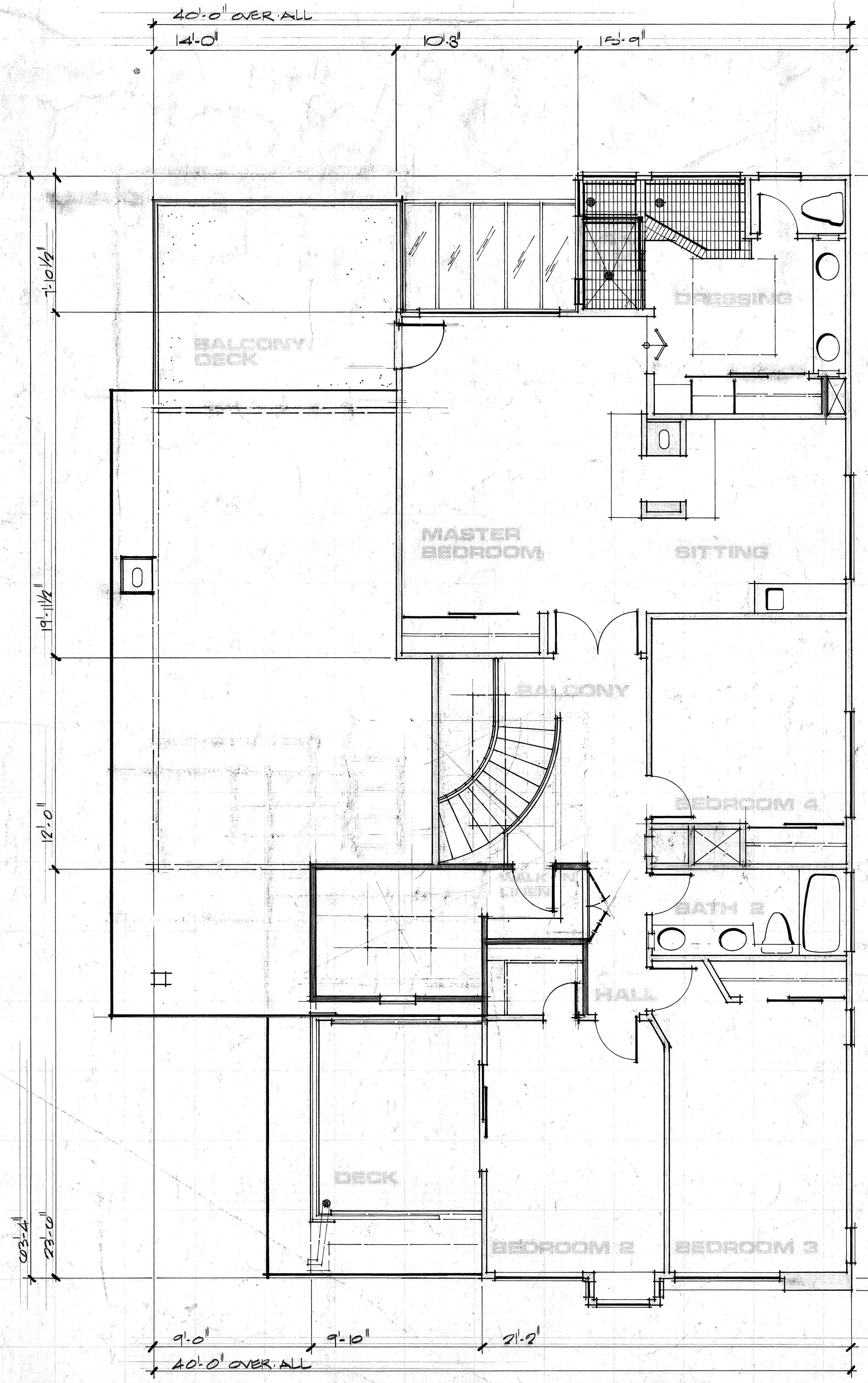
8 7/8" stucco over paper backed lath w/16 gauge staples at 6" o.c. at top & bottom plates, edge of shear wall and on field (ICBO Report No. 1823, May 1972) or (ICBO Report No. 1318, Feb. 1973) 180#1

11 3/8" Structural II Plywood with 8d nails @ 4" o.c. at edges & 12" o.c. field (Table 25M UBC) 380#1

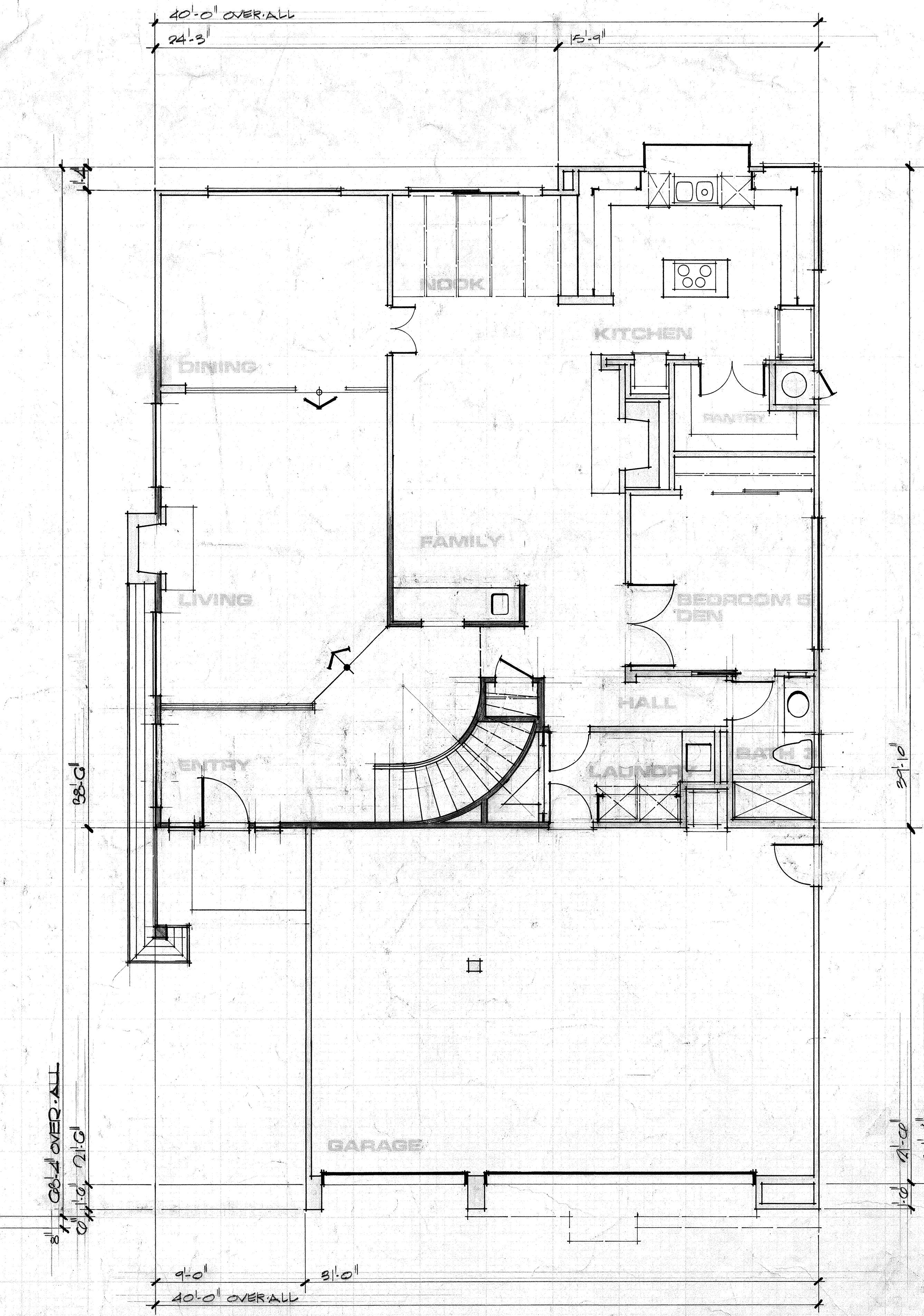
12 3/8" Structural II Plywood with 8d nails @ 2 1/2" o.c. at edges & 12" o.c. field (Table 25M UBC) 570#1

ELEV. NOTES:

1. All exterior stucco to be light texture finish. (Spanish or heavy texture not acceptable.)
2. Exterior facias & bargeboards to be ro/s.
3. Exposed exterior trim & beams to be ro/s on four sides.
4. See structural notes for shear panels indicated w/dash line on exterior elevations.
5. Typical siding to be cedar wood shingles over space sheathing (1"x4") w/15 lbs. felt interlayerment. All corners to be laced w/decorative V-cut and radius shingles per elevation.
6. Provide built-up 2"x10" facia w/1"x4" trim over.
7. * Provide insulated glazing as per mechanical engineer calculations.



REV. SECOND FLOOR PLAN



REV. FIRST FLOOR PLAN

REVERSE SLOOR FLANG PLAN B

卷之三

<p>21 STUCCO SCREED 3'-10"</p>	<p>17 BRICK VENEER 1'-10"</p>	<p>13 CONC. APRON 1'-10"</p>	<p>9 STEPPED SLAB @ FTG. ONE-STORY 1'-10"</p>	<p>5 HOUSE TO GARAGE ONE-STORY 1'-10"</p>	<p>1 EXTERIOR FOOTING ONE-STORY 1'-10"</p>
<p>22 BRICK POT SHELF 1'-10"</p>	<p>18 BRICK VENEER BELOW WDWN. 1'-10"</p>	<p>14 CONC. CURB @ DROPPED HOUSE SLAB 1'-10"</p>	<p>10 STEPPED SLAB @ FTG. TWO-STORY 1'-10"</p>	<p>6 HOUSE TO GARAGE TWO-STORY 1'-10"</p>	<p>2 EXTERIOR FOOTING TWO-STORY 1'-10"</p>
<p>24 WOOD FRAMED COLUMN 1'-10"</p>	<p>20 MASONRY COLUMN 1'-10"</p>	<p>15 RAISED TO LOWERED CONC. SLAB 1'-10"</p>	<p>11 STEPPED SLAB 1'-10"</p>	<p>7 CONC. CURB ONE-STORY 1'-10"</p>	<p>3 INTERIOR FOOTING ONE-STORY 1'-10"</p>
<p>24 WOOD FRAMED COLUMN 1'-10"</p>	<p>20 MASONRY COLUMN 1'-10"</p>	<p>16 F.T.G. @ POTSHELF BOX-OUT 1'-10"</p>	<p>12 EXT. FTG. TO PORCH 1'-10"</p>	<p>8 CONC. CURB TWO-STORY 1'-10"</p>	<p>4 INTERIOR FOOTING TWO-STORY 1'-10"</p>

 45 GLASS ROOF @ WALL 1'-0"	 41 GLASS ROOF 3'-0"	 37 SKYLIGHT LIGHTWELL 1'-0"	 33 FLAT ROOF TO WALL 1'-0"	 29 TYP. RIDGE W/ TILE 1'-0"	 25 TYP. EAVE 1'-0"
 46 FLUSH EAVE SC: 1'-0"	 42 TYP. SKYLIGHT 1'-0"	 38 TYP. RAKE 1'-0"	 34 PARAPET WALL 1'-0"	 30 TYP. RAKE 1'-0"	 26 EAVE w/ SLOP G. CLG. 1'-0"
 47 RIDGE BEAM 1'-0"	 43 PURLIN BEAM 1'-0"	 39 PARTIAL SECTION 1'-0"	 35 COPPER DETAIL 1'-0"	 31 ROOF TO WALL 1'-0"	 27 EAVE w/ GUTTER 1'-0"
 48 ROOF TO WALL 1'-0"	 44 ROOF TO WALL 1'-0"	 40 FALSE RIDGE BEAM 1'-0"	 36 TYP. EAVE 1'-0"	 32 ROOF TO WALL 1'-0"	 28 FLUSH EAVE 1'-0"

DATE NUMBER:
JOB NUMBER:
DIVISIONS:

Canyon Creek

<p>69 DECK HANDRAIL SC: 1'-10"</p>	<p>65 INTERIOR HANDRAIL SC: 1'-10"</p>	<p>61 LUMINOUS CEILING SC: 1'-10"</p>	<p>57 LUMINOUS SOFFIT SC: 1'-10"</p>	<p>53 STUCCO POT SHELF SC: 3/4'-10"</p>
<p>70 HANDRAIL SC: 1'-10"</p>	<p>66 WROUGHT IRON HANDRAIL SC: 1'-10"</p>	<p>62 LUMINOUS CEILING SC: 1'-10"</p>	<p>58 LUMINOUS SOFFIT SC: 1'-10"</p>	<p>54 CERAMIC TILE @ POT SHELF SC: 1/2'-10"</p>
<p>71 HANDRAIL SC: 3'-10"</p>	<p>67 OPEN TREAD STAIR 1'-10"</p>	<p>63 GARDEN BAY WINDOW</p>	<p>59 LUMINOUS FLOATING SOFFIT SC: 3/4'-10"</p>	<p>55 STUCCO BOX-OUT SC: 1/2'-10"</p>
<p>72 TYP. STAIR SC: 1'-10"</p>	<p>68 HANDRAIL SC: 1'-10"</p>	<p>64 PLANTER NICHE SC: 1/2'-10"</p>	<p>60 LUMINOUS SOFFIT SC: 3/4'-10"</p>	<p>56 PASS-THRU @ KITCHEN SC: 1/2'-10"</p>
<p>49 WOOD POT SHELF SC: 1/2'-10"</p>	<p>50 WOOD POT SHELF SC: 1/2'-10"</p>	<p>51 WOOD POT SHELF SC: 1/2'-10"</p>	<p>52 WOOD WATERPROOF'D POT SHELF SC: 1/2'-10"</p>	<p>CR DESIGN</p>

<p>93 CERAMIC TILE PLANTER sc: 1/2'-0"</p> <p>CERAMIC TILE APPLIED OVER SCRATCH MORTAR BED, METAL LATH & FELT. RAD. BULLNOSE TILE CURB. 2x4 FRAMING. 2x8 PT. OR RWD SILL. CARPET. CONC. HOUSE SLAB. PROVIDE 2x BULKG MIN. 3" ABOVE DAM HGT. SLOPE BOT. OF TUB MIN. 1/4" TO DRAIN W/MIN. 3/4" THICK W/P. HOT MOP MEMBRANE APPLICATION EXTEND INTO SUBDRAIN OF TUB & UP TO 3" ABOVE DAM W/ NO NAIL PENETRATION BELOW DAM.....</p>	<p>89 TUB TO PLANTER 1'-1"-0"</p> <p>CERAMIC TILE APPLIED OVER SCRATCH MORTAR BED, METAL LATH & FELT. RAD. BULLNOSE TILE CURB. 2x4 FRAMING. 2x8 PT. OR RWD SILL. CARPET. CONC. HOUSE SLAB. PROVIDE 2x BULKG MIN. 3" ABOVE DAM HGT. SLOPE BOT. OF TUB MIN. 1/4" TO DRAIN W/MIN. 3/4" THICK W/P. HOT MOP MEMBRANE APPLICATION EXTEND INTO SUBDRAIN OF TUB & UP TO 3" ABOVE DAM W/ NO NAIL PENETRATION BELOW DAM.....</p>	<p>85 WINDOW SILL 3'-1"-0"</p> <p>2x4 FRAMING. 2x8 FRAMING. TYP. THIN SET TILE SHELF. CERAMIC TILE. WATERPROOF HOT MOP MEM. DRAIN "THINSET" APPLICATION. PVC DRAIN PIPE FOR COMPLETE DIMENSIONS SEE FOUNDATION PLAN.</p>	<p>81 WINDOW JAMB 11/2'-1"-0"</p> <p>SIMPSON ST-G23G TIE STRAP. HEADER SEE FRAMING PLAN. 4x4 POST. ALUM. WO. FRAME. INTERIOR DRYWALL. 4x4 POST. 1x4 RO/S CORNER TRIM. MITERED HEADERS SEE FRAMING PLAN. 4x4 POST.</p>	<p>77 SHEAR PANEL 1'-1"-0"</p> <p>INT. MATERIAL. 2x STUDS @ 16" O.C. TYPICAL MOLDING. TEMP. GLASS SEE PLAN. TYP. DOOR. POLYJAMB. 4x4 POST. EXT. MAT. RO/S TRIM SET. ELEVATION. 1x8x6 MILLED JAMB CAULK W/SILICONE. PLAN</p>	<p>73 DRAG DETAIL 1'-1"-0"</p> <p>SIMPSON ST-G23G TIE. SEE FRAMING PLAN. 2x4 STUDS. 4x4 POST. 1x4 SILL. 1/2x6x10 ST ANCHOR. SET 7" INTO CONC. SEE FRAMING PLAN FOR SPACING. SEE FRAMING PLAN.</p>
<p>94 CERAMIC TILE SUNKEN TUB CONC. SLAB 1'-1"-0"</p> <p>CERAMIC TILE APPLIED OVER SCRATCH MORTAR BED, METAL LATH & FELT. RAD. BULLNOSE TILE CURB. 2x4 FRAMING. 2x8 PT. OR RWD SILL. CARPET. 1/2" Plywood. 2x8's @ 16" O.C. PROVIDE 2x BULKG MIN. 3" ABOVE DAM HGT. SLOPE BOT. OF TUB MIN. 1/4" TO DRAIN W/MIN. 3/4" THICK W/P. HOT MOP MEMBRANE APPLICATION EXTEND INTO SUBDRAIN OF TUB & UP TO 3" ABOVE DAM W/ NO NAIL PENETRATION BELOW DAM.....</p>	<p>86 CORNER POST TO HOOD sc: 1/2'-0"</p> <p>WINDOW. 2x4 FRAMING. 2x8 FRAMING. TYP. THIN SET TILE SHELF. FLOOR SYSTEM. CERAMIC TILE. 9/16" Plywood. W/WATERPROOF HOT MOP MEM. DRAIN. PVC DRAIN PIPE</p>	<p>82 CORNER TRIM sc: 1/2'-0"</p> <p>2x4 STUDS. EXTERIOR WOOD SIDING. INT. MAT. 1x4 RO/S CORNER TRIM. 2x4 TRIMMER.</p>	<p>78 PRIVACY WALL 1'-1"-0"</p> <p>PROGRESSIVE BLKG. N/G @ 6' O.C. 2x4 NAILER N/G @ 6' O.C. GARAGE DR. HOR. N/V 2x4 PLATE ABOVE. 2x4 @ 16" O.C. W/ 3/8" PLYND.</p>	<p>74 SHEAR TRANSFER 1'-1"-0"</p> <p>1/2 FLOOR JST'S. 4x PROGRESSIVE BLOCKING. TYP. 10d NAIL'S @ SHEATHING TO BLKS @ 4" O.C. SIMPSON W.B. 12G BRACING. BEAM. 8G.</p>	
<p>95 CERAMIC TILE SUNKEN TUB 1'-1"-0"</p> <p>SHTG. 1/4" PUR. JST'S. SOLID BLKG. DBL. TOP PLATE. SIMPSON ST-G23G. 2x8's @ 16" O.C.</p>	<p>87 CORNER TRIM 3'-1"-0"</p> <p>PLYWOOD ROOF SHEATHING. DBL. 2x RAF. SEE FRAMING PLAN. 2x @ 6" O.C. TYP. SIMPSON ST-G23G TIE STRAP. DBL. PLATE.</p>	<p>83 CORNER TRIM 3'-1"-0"</p> <p>2x12 BLKG. POST OR SOLID BLKG @ CORNER. 2x4 STUDS @ 16" O.C. DBL. RAFTER. SIMPSON W.E. 12G BRACING. 9-13/16". ALT. TIE STRAP LOCATION. DBL. 2x PLATE. SHEAR PANEL.</p>	<p>79 SHEAR PANEL @ GARAGE sc: 3/4"-1"-0"</p> <p>TYP. 10d @ 6" O.C. SHEATHING TO BEAM OR DBLS. PLYWD. SUBFLR. BEAM (SEE FRAMING PLAN FOR SIZE). SIMPSON ST-G23G.</p>	<p>75 DRAG CONNECTION 1'-1"-0"</p> <p>MULTI-JOISTS OR BEAM (SEE FRAMING PLAN FOR SIZE). SIMPSON ST-G23G. DBL. PLATE. 2x STUDS @ 16" O.C.</p>	
<p>96 DRAG CONNECTION 1'-1"-0"</p> <p>SHTG. 1/4" PUR. JST'S. SOLID BLKG. DBL. TOP PLATE. SIMPSON ST-G23G.</p>	<p>92 SHEAR TRANSFER 3/4"-1"-0"</p> <p>PLYWOOD ROOF SHEATHING. DBL. 2x RAF. SEE FRAMING PLAN. 2x @ 6" O.C. TYP. SIMPSON ST-G23G TIE STRAP. DBL. PLATE.</p>	<p>88 DRAG CONNECTION 1'-1"-0"</p> <p>2x12 BLKG. POST OR SOLID BLKG @ CORNER. 2x4 STUDS @ 16" O.C. DBL. RAFTER. SIMPSON W.E. 12G BRACING. 9-13/16". ALT. TIE STRAP LOCATION. DBL. 2x PLATE. SHEAR PANEL.</p>	<p>84 DRAG CONNECTION 1'-1"-0"</p> <p>ROOF SHEATHING. ROOF RAFTERS. 2x BLOCKING. TYP. 2x @ 6" O.C. SHTG. TO BLKG. SIMPSON W.E. 12G BRACING. 9-13/16". ALT. TIE STRAP LOCATION. DBL. 2x PLATE. SHEAR PANEL.</p>	<p>80 DRAG CONNECTION 1'-1"-0"</p> <p>DBL. PLAT. 2x STUDS @ 16" O.C. ALT. TIE STRAP LOCATION. DBL. 2x PLATE. SHEAR PANEL.</p>	<p>76 DRAG CONNECTION 1'-1"-0"</p> <p>TYP. 10d @ 6" O.C. SHEATHING TO BEAM OR DBLS.</p>

DATE NUMBER: DRAWN BY: REVISIONS:

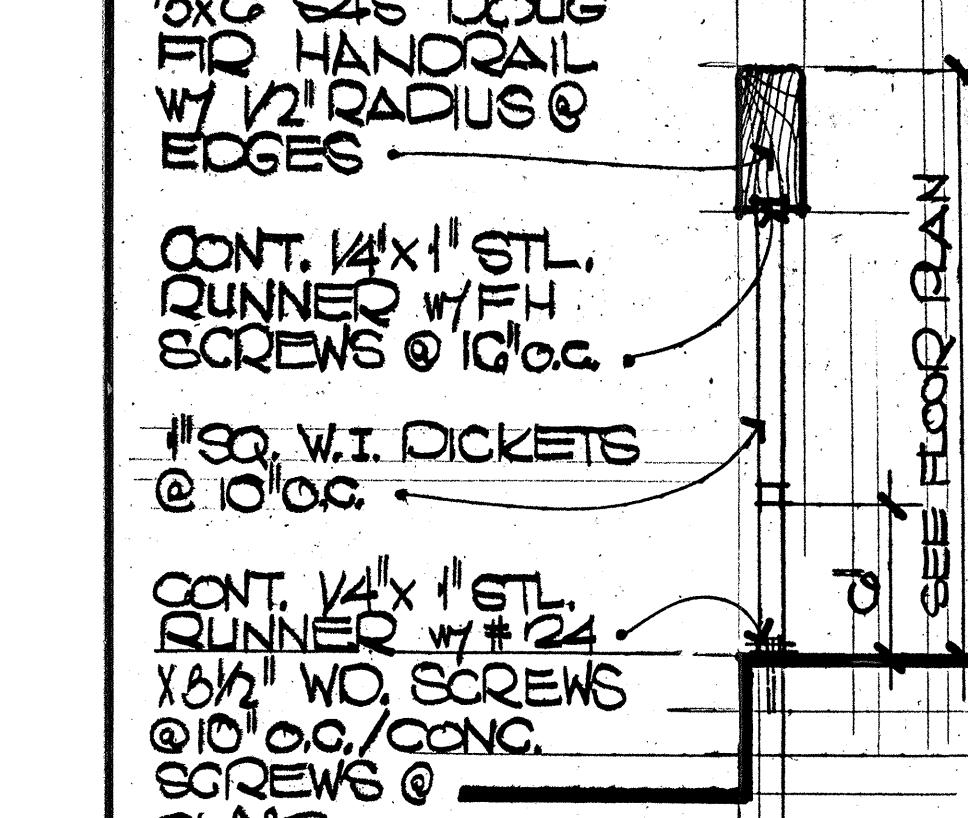
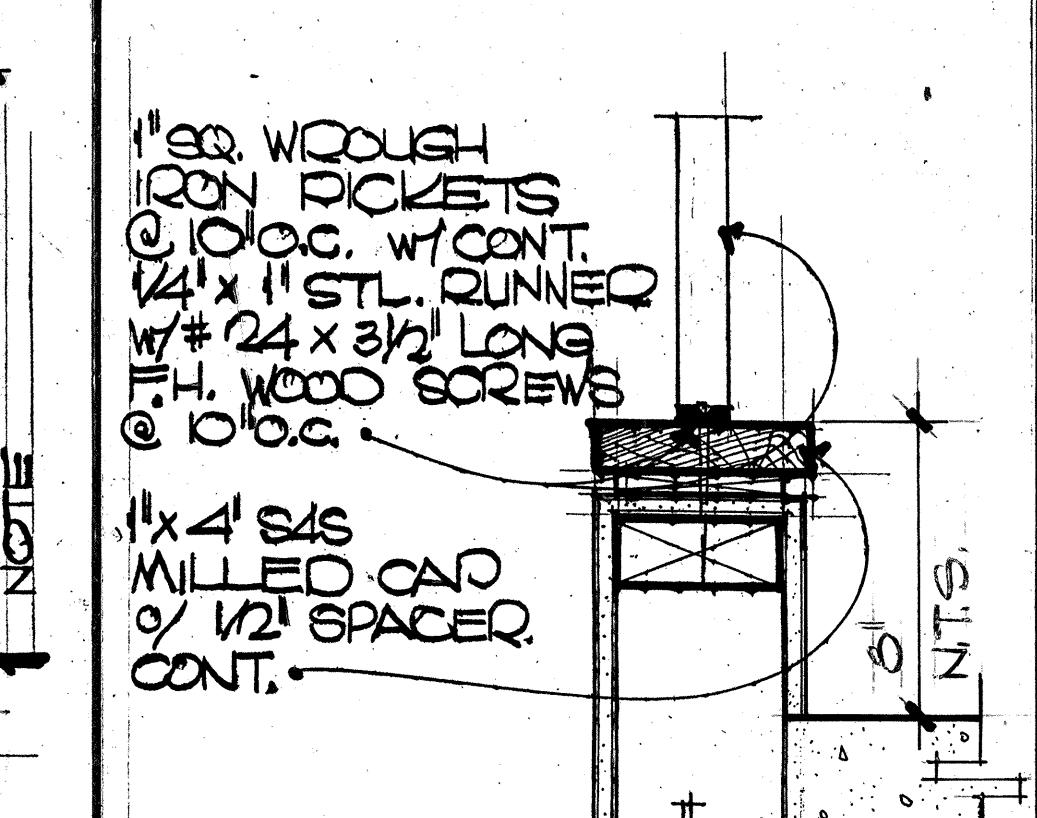
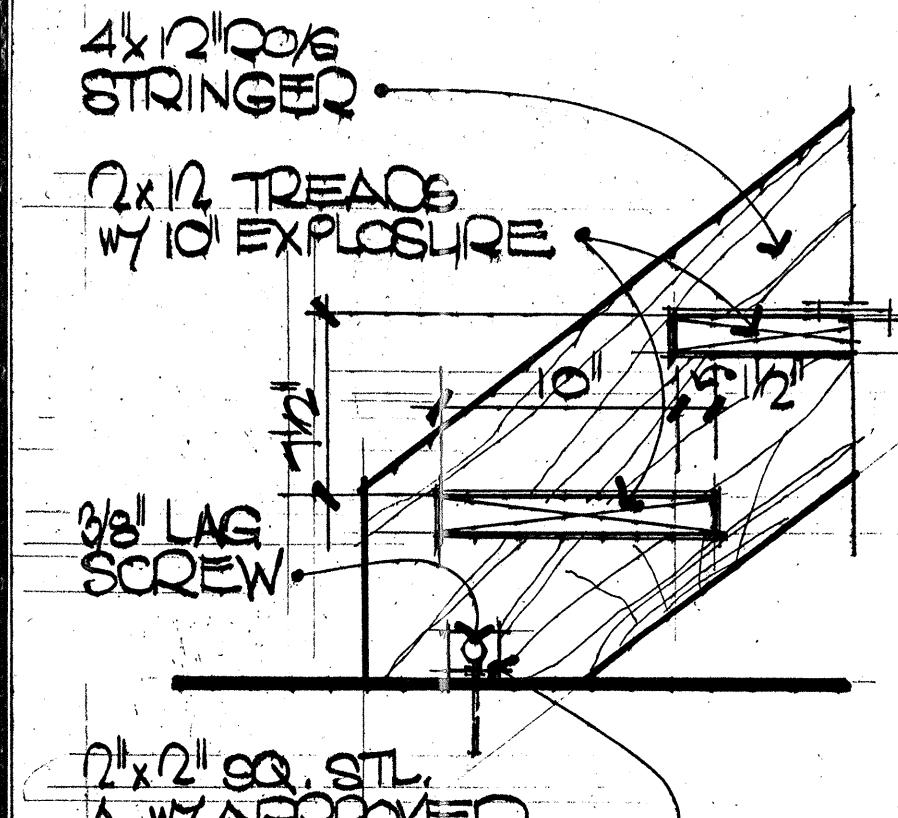
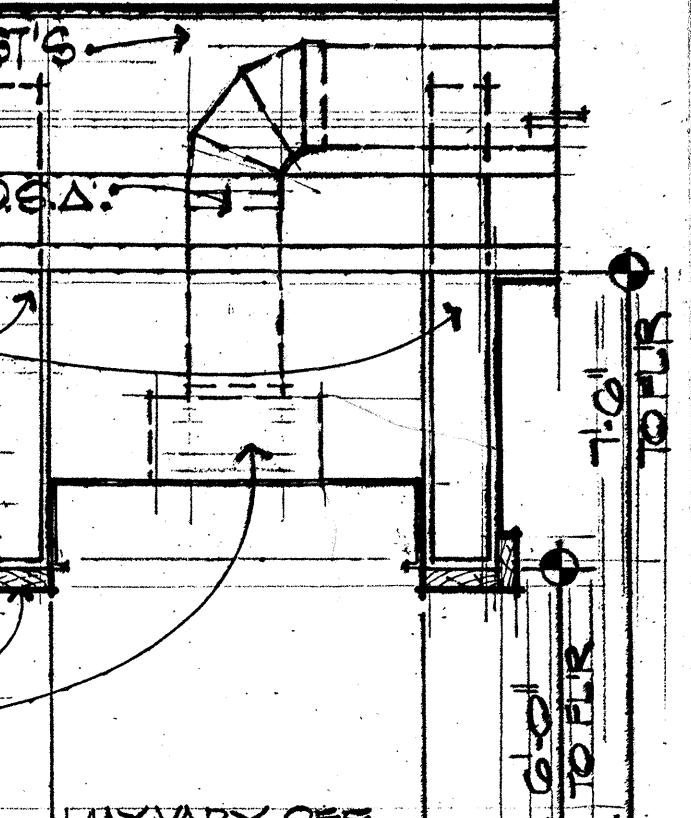
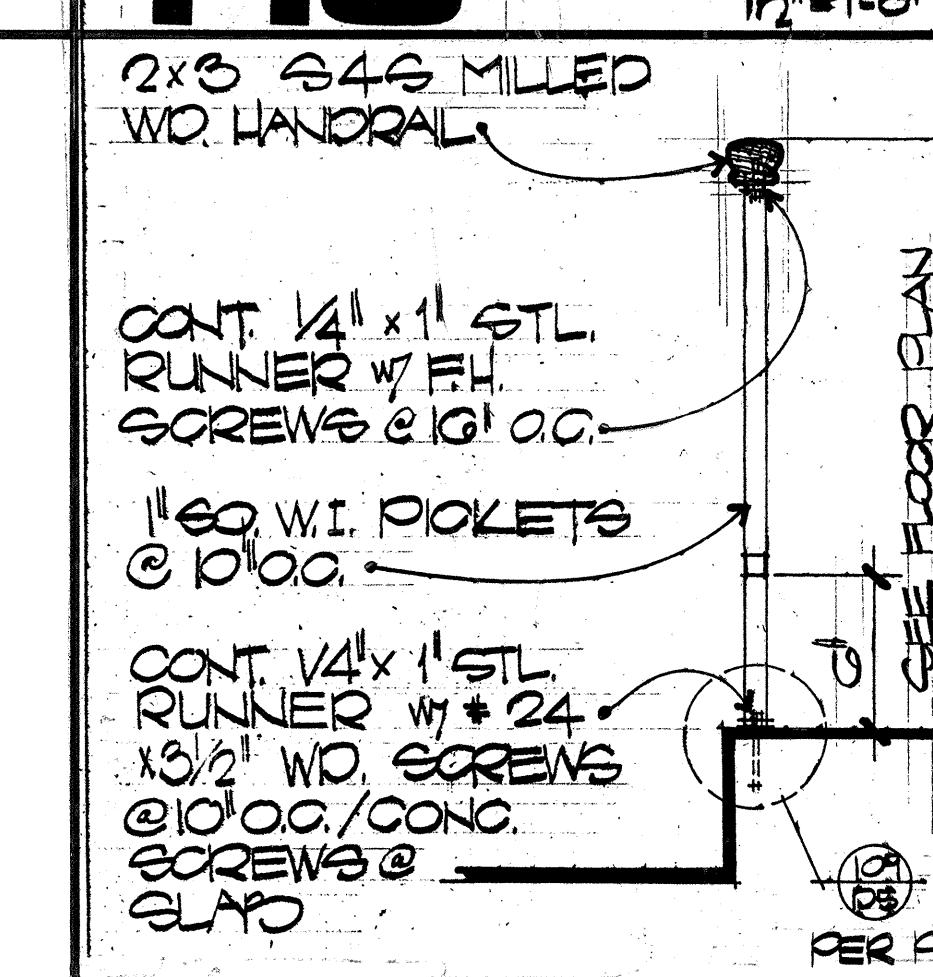
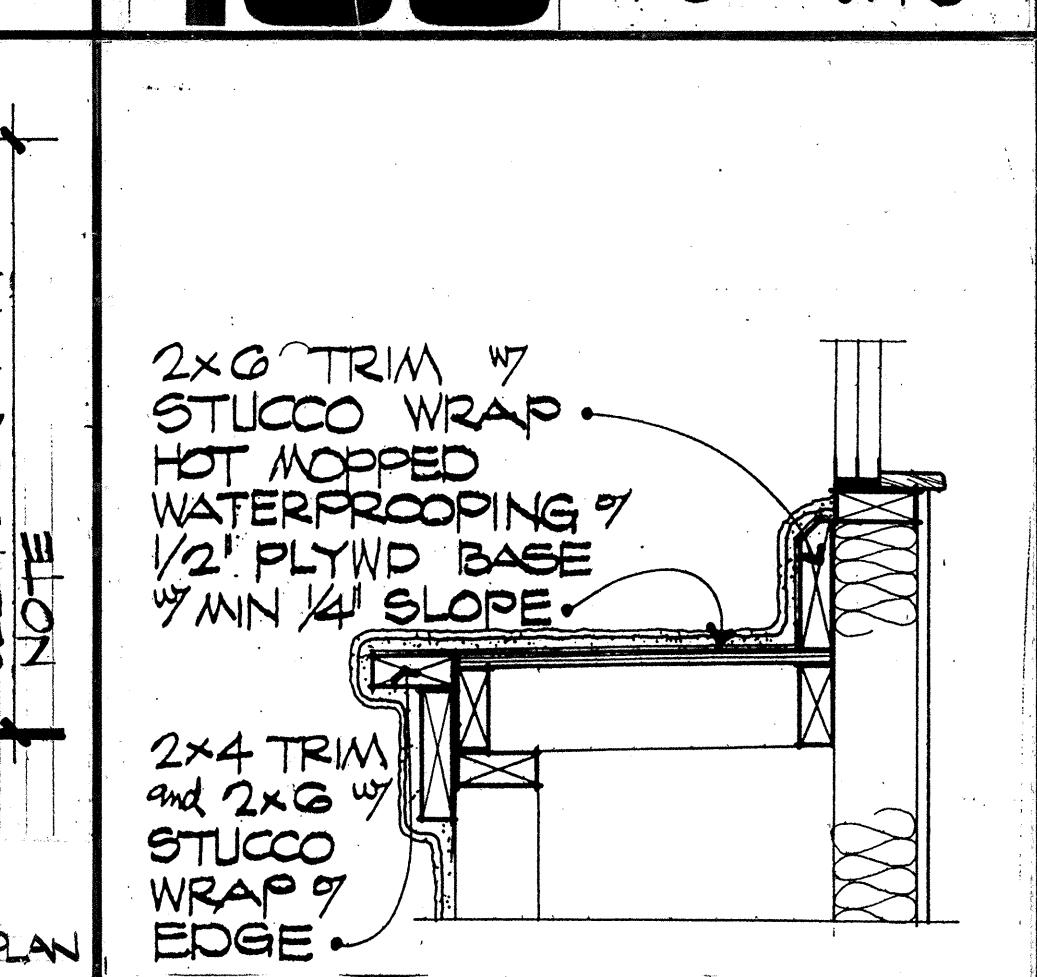
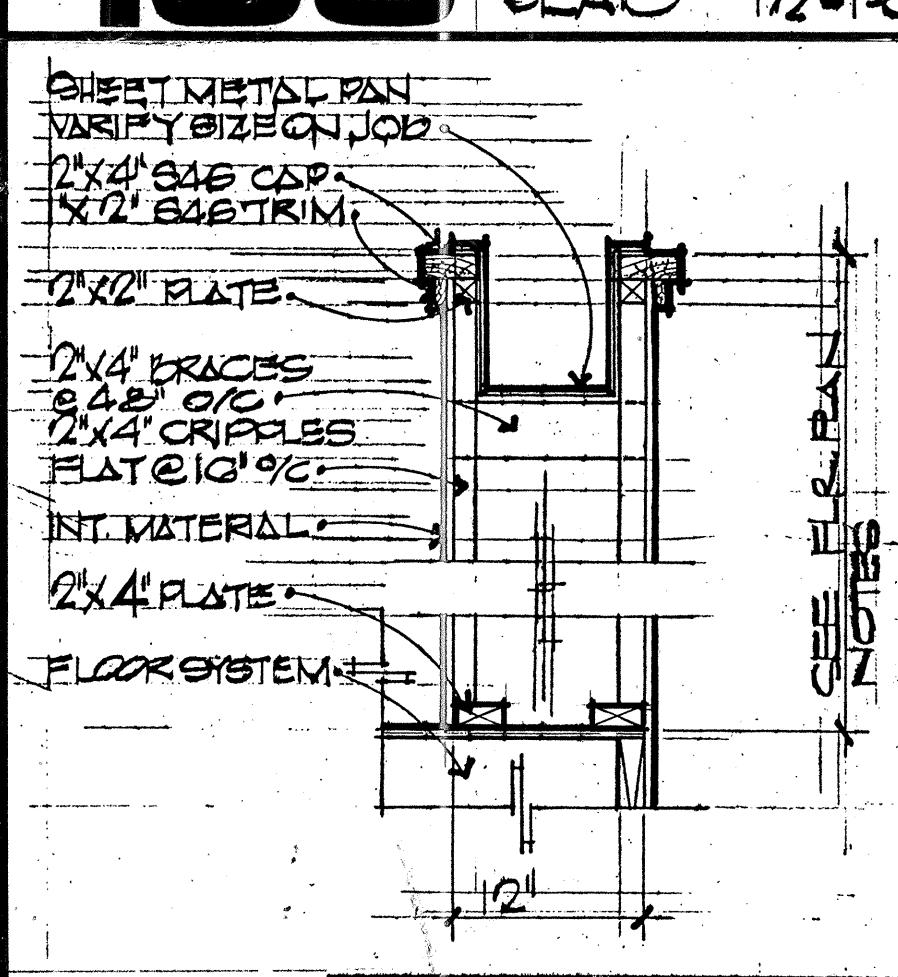
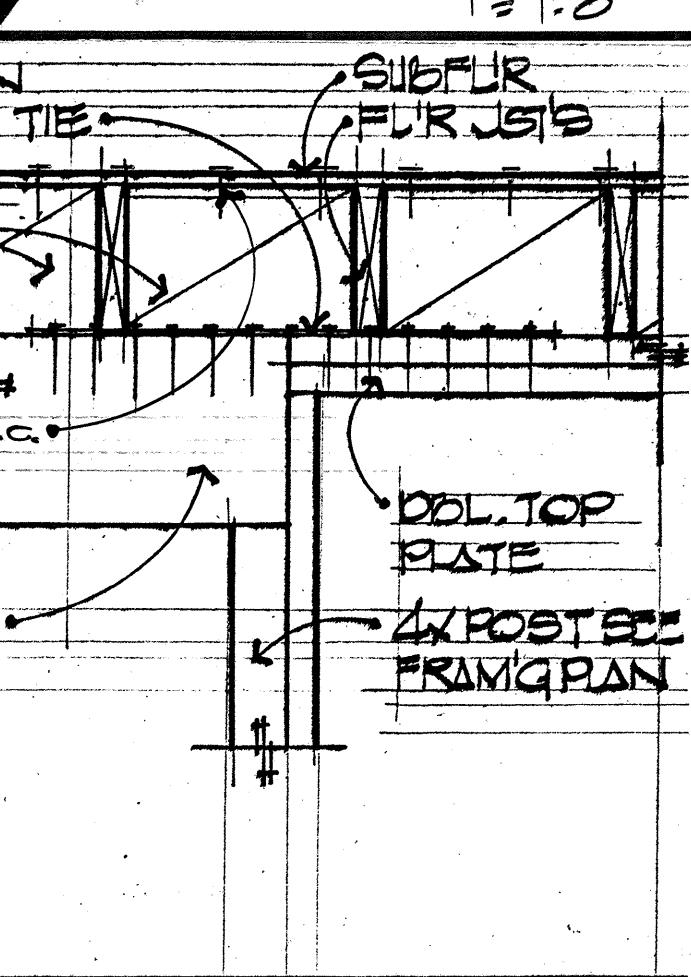
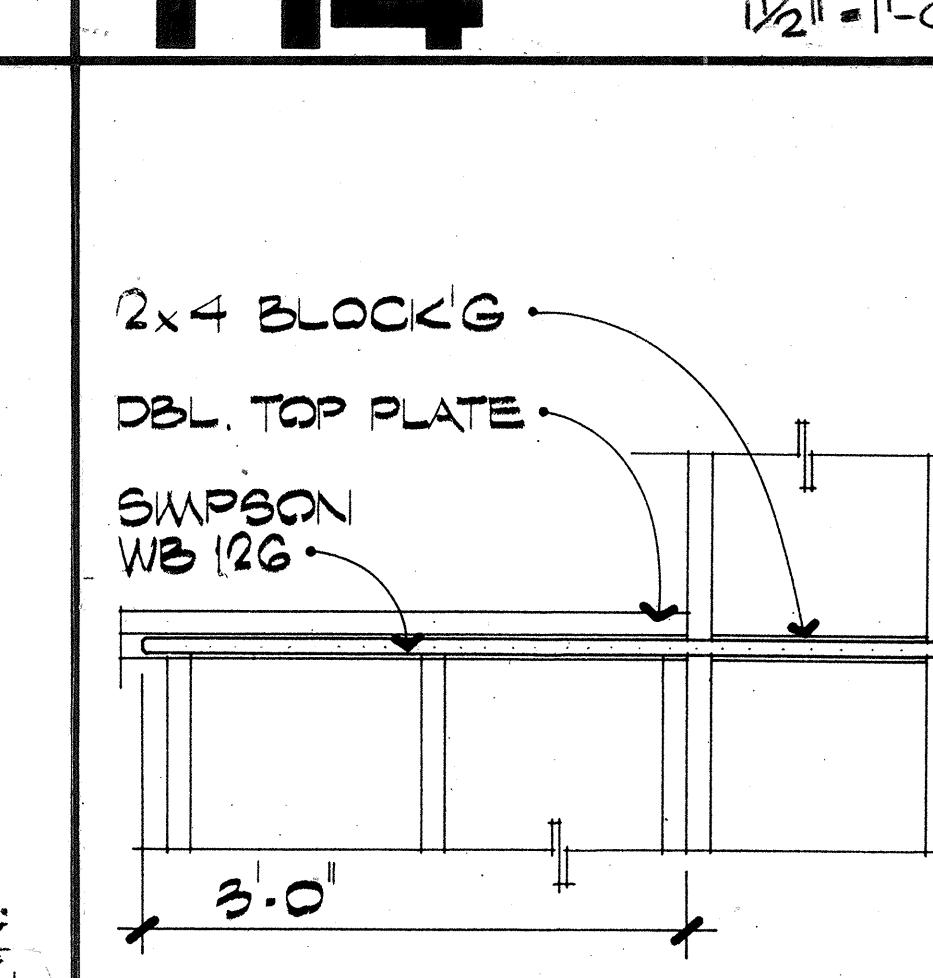
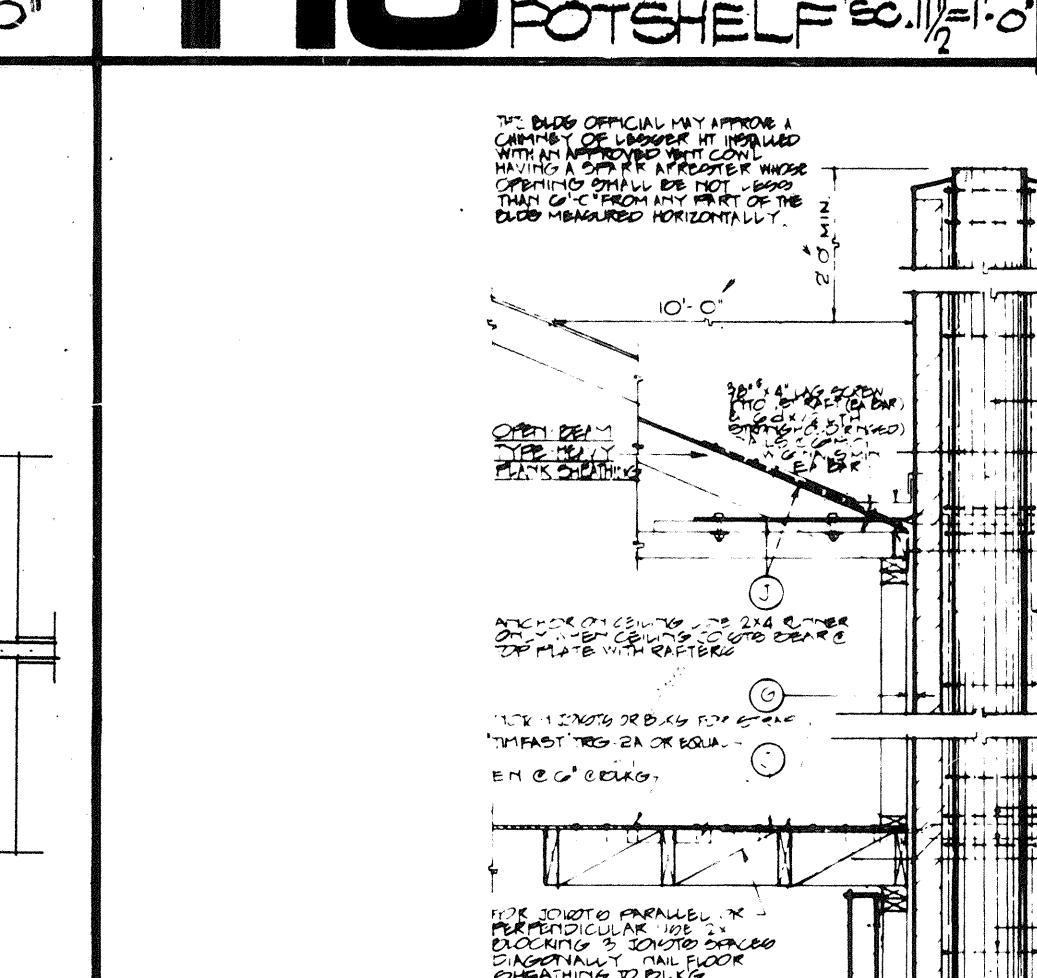
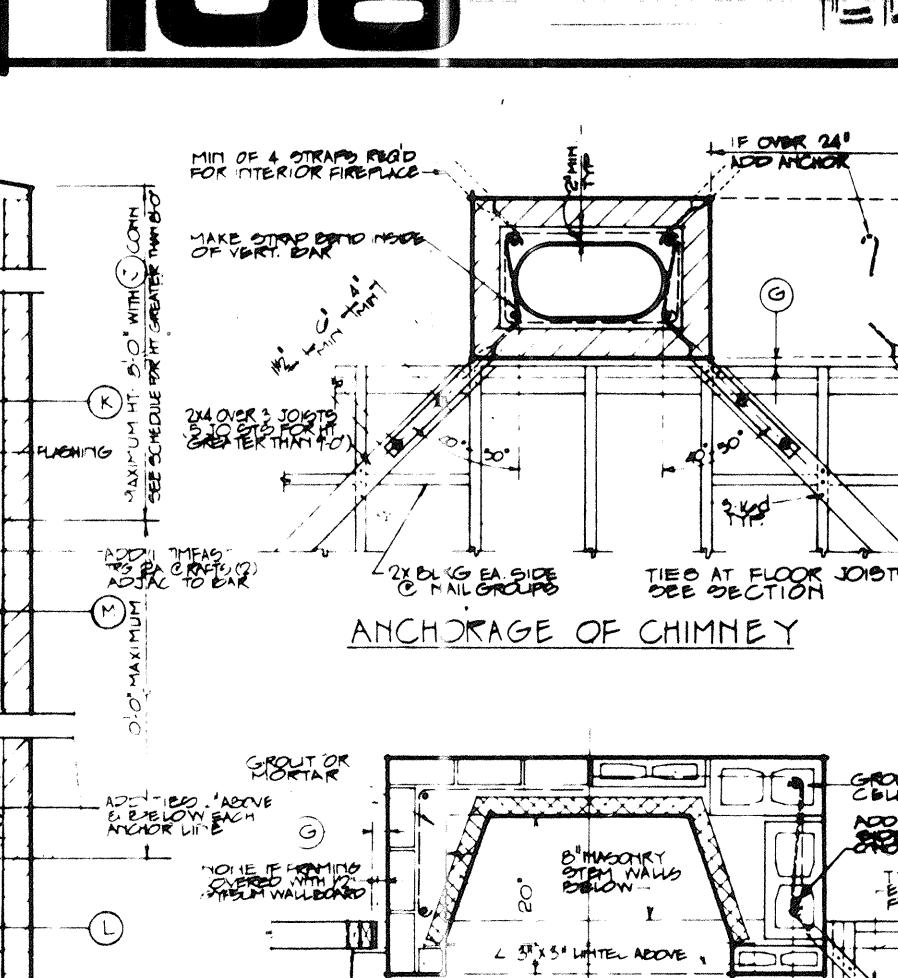
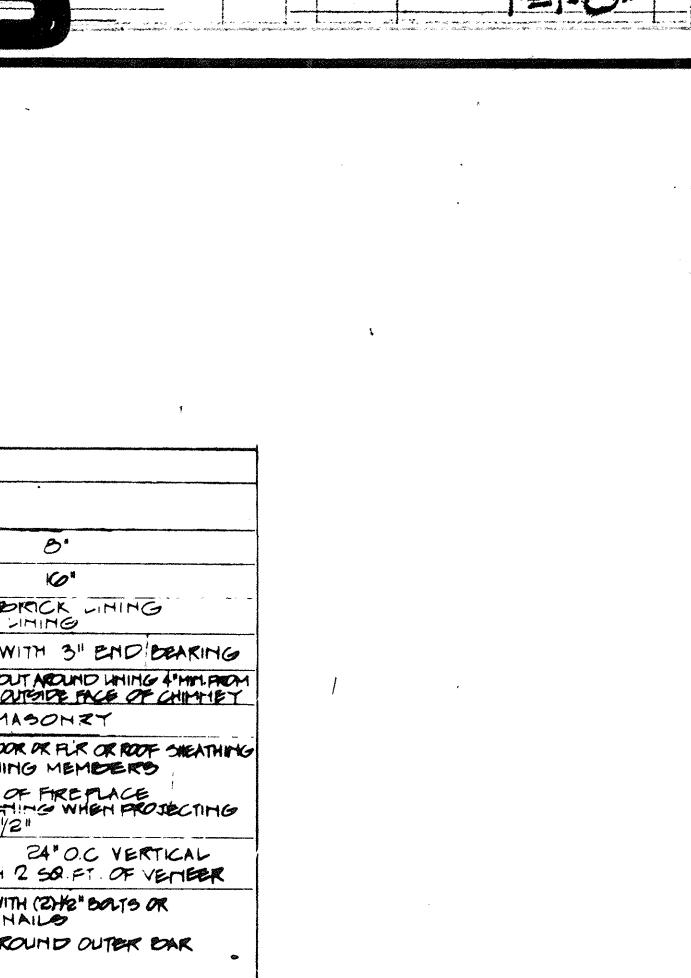
CR DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.

DATE NUMBER: DRAWN BY: REVISIONS:

SHEET NUMBER: D-4

ARCH. & MISC

Common Creek

 <p>3x6 S4S DOUG FIR HANDRAIL W/ 1/2" RADIUS @ EDGES CONT. 1/4" x 1" STL. RUNNER W/ FH SCREWS @ 10' OC. 1/2" SQ. W.I. PICKETS @ 10' OC. CONT. 1/4" x 1" STL. RUNNER W/ #24 X 3 1/2" LONG X 3/4" WD. SCREWS @ 10' OC./CONC. SCREWS @ SLAB</p> <p>SEE FLOOR PLAN</p>	 <p>1/2" SQ. WOOGH RON PICKETS @ 10' OC. W/ CONT. 1/4" x 1" STL. RUNNER W/ #24 X 3 1/2" LONG X 3/4" WD. SCREWS @ 10' OC. 1/2" x 4" S4S MILLED CAP W/ 1/2" SPACER. CONT.</p> <p>SEE FLOOR PLAN</p>	 <p>4x12 20% STRINGER 2x12 TREACES W/ 10' EXPOSURE 3/8x12 LAG SCREW W/ 1" WASHER 4x12 RO/B STRINGER COUNTER SINK PUTTY FILL AND SEAL</p>	 <p>FLOOR JET'S DUCT TO SLAB 2X4'S - NAILED TO JET'S DRYWALL 1X2 TRIM / X TRIM MECH. VENT MAY VARY SEE MANUF. SPEC.</p>																																																			
<p>113 HANORAIL 1/2'-1'-0"</p>  <p>2x3 S4S MILLED WD. HANDRAIL CONT. 1/4" x 1" STL. RUNNER W/ FH SCREWS @ 10' OC. 1/2" SQ. W.I. PICKETS @ 10' OC. CONT. 1/4" x 1" STL. RUNNER W/ #24 X 3 1/2" LONG X 3/4" WD. SCREWS @ 10' OC./CONC. SCREWS @ SLAB</p> <p>SEE FLOOR PLAN</p>	<p>109 HANORAIL BASE 6'-1'-0"</p>  <p>2X0 TRIM W/ STUCCO WRAP HOT MOPPED WATERPROOFING 1/2" PLYWD BASE W/ MIN 1/4" SLOPE 2X4 TRIM AND 2X0 W/ STUCCO WRAP @ EDGE</p> <p>SEE FLOOR PLAN</p>	<p>105 STRINGER TO SLAB 1/2'-1'-0"</p>  <p>SHEET METAL PAN VARY SIZE ON JOB 2X4 CAP 2X2 PLATE 2X4 BRACES 2X4 CRIPPLES INT. MATERIAL 2X4 PLATE FLOOR SYSTEM</p>	<p>101 RINGER CONNECTN 1/2'-1'-0"</p>  <p>4X POST SOLE PLATE PROVIDE ONE (1) MORTISE FOR EA. PA. 2B BELOW @ FOUND. SLOT TO OPPOSITE SIDE AS REQ'D TOP PLATE 4X POST</p>																																																			
<p>114 HANORAIL 1/2"-1'-0"</p>  <p>2X4 BLOCK'G DBL. TOP PLATE SIMPSON WB 12G ALT. EXT. TREATMENT SEE EXT. ELEV. FOR VARIATIONS 2X SOLE 1". SIMPSON POST BASE ROUND CONC. CURB PER FOUND. PLAN SEE PLAN</p>	<p>110 STUCCO POT SHELF 8'-0"-1/2'-1'-0"</p>  <p>MIN OF 4 STRAND FIRED FOR EXTERIOR FIREPLACE MIN OF 2 STRAND FIRED FOR INTERIOR FIREPLACE ANCHORAGE OF CHIMNEY</p>	<p>106 PLANTER 1'-1'-0"</p>  <p>PLAN AT TOP OF HEARTH CHIMNEY ANCHOR BEDDING REINFORCEMENT</p>	<p>102 HOLD DOWN 1/2"-1'-0"</p>  <table border="1"> <thead> <tr> <th>OUTSIDE DIAMETER OF FLUE LINING</th> <th>EFFECTIVE AREA</th> <th>MAXIMUM SIZE OF FIREPLACE OPENING (DEPENDING FLUE AREA)</th> </tr> </thead> <tbody> <tr> <td>A - 10" ROUND</td> <td>24 SQ. IN.</td> <td>4000 SQ. IN.</td> </tr> <tr> <td>B - 12" ROUND</td> <td>36 SQ. IN.</td> <td>5000 SQ. IN.</td> </tr> <tr> <td>C - 14" ROUND</td> <td>50 SQ. IN.</td> <td>6000 SQ. IN.</td> </tr> <tr> <td>D - 16" ROUND</td> <td>64 SQ. IN.</td> <td>7000 SQ. IN.</td> </tr> <tr> <td>E - 18" ROUND</td> <td>81 SQ. IN.</td> <td>8000 SQ. IN.</td> </tr> <tr> <td>F - 20" ROUND</td> <td>100 SQ. IN.</td> <td>9000 SQ. IN.</td> </tr> <tr> <td>G - 22" ROUND</td> <td>121 SQ. IN.</td> <td>10000 SQ. IN.</td> </tr> <tr> <td>H - 24" ROUND</td> <td>144 SQ. IN.</td> <td>11000 SQ. IN.</td> </tr> </tbody> </table> <p>MINIMUM REQUIREMENTS</p> <table border="1"> <thead> <tr> <th>ITEM</th> <th>LETTERS</th> <th>910 UIFORM BUILDING CODE FMA QVA</th> </tr> </thead> <tbody> <tr> <td>HEARTH SPAD LENGTH HIGH SIDE OF OPENING</td> <td>A</td> <td>2"</td> </tr> <tr> <td>HEARTH SPAD PROJECTION</td> <td>B</td> <td>6"</td> </tr> <tr> <td>THICKNESS OF REED WALL</td> <td>C</td> <td>8" WITH PLATE LINING OR 10" WITHOUT LINING</td> </tr> <tr> <td>FIREPLACE LINTEL</td> <td>D</td> <td>L 30" X 3" X 6" MEANT SPADS + 6"</td> </tr> <tr> <td>WALLS WITH PLATE LINING</td> <td>E</td> <td>EXPOSED GROUP AREAS 4" THICK FROM INSIDE TO OUTSIDE NON EXPOSED GROUP AREAS 4" THICK FROM INSIDE TO OUTSIDE</td> </tr> <tr> <td>WALLS WITH UNPLATE LINING</td> <td>F</td> <td>8" SOLID MASONRY</td> </tr> <tr> <td>CLEARANCE</td> <td>G</td> <td>1" WHEN OUTSIDE OF WALL IS 8" OR LESS BOARD 2" WHEN OUTSIDE OF WALL IS 8" OR LESS 3" WHEN OUTSIDE OF WALL IS 10" OR LESS 4" WHEN OUTSIDE OF WALL IS 10" OR LESS 5" WHEN OUTSIDE OF WALL IS 12" OR LESS 6" WHEN OUTSIDE OF WALL IS 12" OR LESS 7" WHEN OUTSIDE OF WALL IS 14" OR LESS 8" WHEN OUTSIDE OF WALL IS 14" OR LESS 9" WHEN OUTSIDE OF WALL IS 16" OR LESS 10" WHEN OUTSIDE OF WALL IS 16" OR LESS 11" WHEN OUTSIDE OF WALL IS 18" OR LESS 12" WHEN OUTSIDE OF WALL IS 18" OR LESS 13" WHEN OUTSIDE OF WALL IS 20" OR LESS 14" WHEN OUTSIDE OF WALL IS 20" OR LESS 15" WHEN OUTSIDE OF WALL IS 22" OR LESS 16" WHEN OUTSIDE OF WALL IS 22" OR LESS 17" WHEN OUTSIDE OF WALL IS 24" OR LESS 18" WHEN OUTSIDE OF WALL IS 24" OR LESS 19" WHEN OUTSIDE OF WALL IS 26" OR LESS 20" WHEN OUTSIDE OF WALL IS 26" OR LESS 21" WHEN OUTSIDE OF WALL IS 28" OR LESS 22" WHEN OUTSIDE OF WALL IS 28" OR LESS 23" WHEN OUTSIDE OF WALL IS 30" OR LESS 24" WHEN OUTSIDE OF WALL IS 30" OR LESS 25" WHEN OUTSIDE OF WALL IS 32" OR LESS 26" WHEN OUTSIDE OF WALL IS 32" OR LESS 27" WHEN OUTSIDE OF WALL IS 34" OR LESS 28" WHEN OUTSIDE OF WALL IS 34" OR LESS 29" WHEN OUTSIDE OF WALL IS 36" OR LESS 30" WHEN OUTSIDE OF WALL IS 36" OR LESS 31" WHEN OUTSIDE OF WALL IS 38" OR LESS 32" WHEN OUTSIDE OF WALL IS 38" OR LESS 33" WHEN OUTSIDE OF WALL IS 40" OR LESS 34" WHEN OUTSIDE OF WALL IS 40" OR LESS 35" WHEN OUTSIDE OF WALL IS 42" OR LESS 36" WHEN OUTSIDE OF WALL IS 42" OR LESS 37" WHEN OUTSIDE OF WALL IS 44" OR LESS 38" WHEN OUTSIDE OF WALL IS 44" OR LESS 39" WHEN OUTSIDE OF WALL IS 46" OR LESS 40" WHEN OUTSIDE OF WALL IS 46" OR LESS 41" WHEN OUTSIDE OF WALL IS 48" OR LESS 42" WHEN OUTSIDE OF WALL IS 48" OR LESS 43" WHEN OUTSIDE OF WALL IS 50" OR LESS 44" WHEN OUTSIDE OF WALL IS 50" OR LESS 45" WHEN OUTSIDE OF WALL IS 52" OR LESS 46" WHEN OUTSIDE OF WALL IS 52" OR LESS 47" WHEN OUTSIDE OF WALL IS 54" OR LESS 48" WHEN OUTSIDE OF WALL IS 54" OR LESS 49" WHEN OUTSIDE OF WALL IS 56" OR LESS 50" WHEN OUTSIDE OF WALL IS 56" OR LESS 51" WHEN OUTSIDE OF WALL IS 58" OR LESS 52" WHEN OUTSIDE OF WALL IS 58" OR LESS 53" WHEN OUTSIDE OF WALL IS 60" OR LESS 54" WHEN OUTSIDE OF WALL IS 60" OR LESS 55" WHEN OUTSIDE OF WALL IS 62" OR LESS 56" WHEN OUTSIDE OF WALL IS 62" OR LESS 57" WHEN OUTSIDE OF WALL IS 64" OR LESS 58" WHEN OUTSIDE OF WALL IS 64" OR LESS 59" WHEN OUTSIDE OF WALL IS 66" OR LESS 60" WHEN OUTSIDE OF WALL IS 66" OR LESS 61" WHEN OUTSIDE OF WALL IS 68" OR LESS 62" WHEN OUTSIDE OF WALL IS 68" OR LESS 63" WHEN OUTSIDE OF WALL IS 70" OR LESS 64" WHEN OUTSIDE OF WALL IS 70" OR LESS 65" WHEN OUTSIDE OF WALL IS 72" OR LESS 66" WHEN OUTSIDE OF WALL IS 72" OR LESS 67" WHEN OUTSIDE OF WALL IS 74" OR LESS 68" WHEN OUTSIDE OF WALL IS 74" OR LESS 69" WHEN OUTSIDE OF WALL IS 76" OR LESS 70" WHEN OUTSIDE OF WALL IS 76" OR LESS 71" WHEN OUTSIDE OF WALL IS 78" OR LESS 72" WHEN OUTSIDE OF WALL IS 78" OR LESS 73" WHEN OUTSIDE OF WALL IS 80" OR LESS 74" WHEN OUTSIDE OF WALL IS 80" OR LESS 75" WHEN OUTSIDE OF WALL IS 82" OR LESS 76" WHEN OUTSIDE OF WALL IS 82" OR LESS 77" WHEN OUTSIDE OF WALL IS 84" OR LESS 78" WHEN OUTSIDE OF WALL IS 84" OR LESS 79" WHEN OUTSIDE OF WALL IS 86" OR LESS 80" WHEN OUTSIDE OF WALL IS 86" OR LESS 81" WHEN OUTSIDE OF WALL IS 88" OR LESS 82" WHEN OUTSIDE OF WALL IS 88" OR LESS 83" WHEN OUTSIDE OF WALL IS 90" OR LESS 84" WHEN OUTSIDE OF WALL IS 90" OR LESS 85" WHEN OUTSIDE OF WALL IS 92" OR LESS 86" WHEN OUTSIDE OF WALL IS 92" OR LESS 87" WHEN OUTSIDE OF WALL IS 94" OR LESS 88" WHEN OUTSIDE OF WALL IS 94" OR LESS 89" WHEN OUTSIDE OF WALL IS 96" OR LESS 90" WHEN OUTSIDE OF WALL IS 96" OR LESS 91" WHEN OUTSIDE OF WALL IS 98" OR LESS 92" WHEN OUTSIDE OF WALL IS 98" OR LESS 93" WHEN OUTSIDE OF WALL IS 100" OR LESS 94" WHEN OUTSIDE OF WALL IS 100" OR LESS 95" WHEN OUTSIDE OF WALL IS 102" OR LESS 96" WHEN OUTSIDE OF WALL IS 102" OR LESS 97" WHEN OUTSIDE OF WALL IS 104" OR LESS 98" WHEN OUTSIDE OF WALL IS 104" OR LESS 99" WHEN OUTSIDE OF WALL IS 106" OR LESS 100" WHEN OUTSIDE OF WALL IS 106" OR LESS 101" WHEN OUTSIDE OF WALL IS 108" OR LESS 102" WHEN OUTSIDE OF WALL IS 108" OR LESS 103" WHEN OUTSIDE OF WALL IS 110" OR LESS 104" WHEN OUTSIDE OF WALL IS 110" OR LESS 105" WHEN OUTSIDE OF WALL IS 112" OR LESS 106" WHEN OUTSIDE OF WALL IS 112" OR LESS 107" WHEN OUTSIDE OF WALL IS 114" OR LESS 108" WHEN OUTSIDE OF WALL IS 114" OR LESS 109" WHEN OUTSIDE OF WALL IS 116" OR LESS 110" WHEN OUTSIDE OF WALL IS 116" OR LESS 111" WHEN OUTSIDE OF WALL IS 118" OR LESS 112" WHEN OUTSIDE OF WALL IS 118" OR LESS 113" WHEN OUTSIDE OF WALL IS 120" OR LESS 114" WHEN OUTSIDE OF WALL IS 120" OR LESS 115" WHEN OUTSIDE OF WALL IS 122" OR LESS 116" WHEN OUTSIDE OF WALL IS 122" OR LESS 117" WHEN OUTSIDE OF WALL IS 124" OR LESS 118" WHEN OUTSIDE OF WALL IS 124" OR LESS 119" WHEN OUTSIDE OF WALL IS 126" OR LESS 120" WHEN OUTSIDE OF WALL IS 126" OR LESS 121" WHEN OUTSIDE OF WALL IS 128" OR LESS 122" WHEN OUTSIDE OF WALL IS 128" OR LESS 123" WHEN OUTSIDE OF WALL IS 130" OR LESS 124" WHEN OUTSIDE OF WALL IS 130" OR LESS 125" WHEN OUTSIDE OF WALL IS 132" OR LESS 126" WHEN OUTSIDE OF WALL IS 132" OR LESS 127" WHEN OUTSIDE OF WALL IS 134" OR LESS 128" WHEN OUTSIDE OF WALL IS 134" OR LESS 129" WHEN OUTSIDE OF WALL IS 136" OR LESS 130" WHEN OUTSIDE OF WALL IS 136" OR LESS 131" WHEN OUTSIDE OF WALL IS 138" OR LESS 132" WHEN OUTSIDE OF WALL IS 138" OR LESS 133" WHEN OUTSIDE OF WALL IS 140" OR LESS 134" WHEN OUTSIDE OF WALL IS 140" OR LESS 135" WHEN OUTSIDE OF WALL IS 142" OR LESS 136" WHEN OUTSIDE OF WALL IS 142" OR LESS 137" WHEN OUTSIDE OF WALL IS 144" OR LESS 138" WHEN OUTSIDE OF WALL IS 144" OR LESS 139" WHEN OUTSIDE OF WALL IS 146" OR LESS 140" WHEN OUTSIDE OF WALL IS 146" OR LESS 141" WHEN OUTSIDE OF WALL IS 148" OR LESS 142" WHEN OUTSIDE OF WALL IS 148" OR LESS 143" WHEN OUTSIDE OF WALL IS 150" OR LESS 144" WHEN OUTSIDE OF WALL IS 150" OR LESS 145" WHEN OUTSIDE OF WALL IS 152" OR LESS 146" WHEN OUTSIDE OF WALL IS 152" OR LESS 147" WHEN OUTSIDE OF WALL IS 154" OR LESS 148" WHEN OUTSIDE OF WALL IS 154" OR LESS 149" WHEN OUTSIDE OF WALL IS 156" OR LESS 150" WHEN OUTSIDE OF WALL IS 156" OR LESS 151" WHEN OUTSIDE OF WALL IS 158" OR LESS 152" WHEN OUTSIDE OF WALL IS 158" OR LESS 153" WHEN OUTSIDE OF WALL IS 160" OR LESS 154" WHEN OUTSIDE OF WALL IS 160" OR LESS 155" WHEN OUTSIDE OF WALL IS 162" OR LESS 156" WHEN OUTSIDE OF WALL IS 162" OR LESS 157" WHEN OUTSIDE OF WALL IS 164" OR LESS 158" WHEN OUTSIDE OF WALL IS 164" OR LESS 159" WHEN OUTSIDE OF WALL IS 166" OR LESS 160" WHEN OUTSIDE OF WALL IS 166" OR LESS 161" WHEN OUTSIDE OF WALL IS 168" OR LESS 162" WHEN OUTSIDE OF WALL IS 168" OR LESS 163" WHEN OUTSIDE OF WALL IS 170" OR LESS 164" WHEN OUTSIDE OF WALL IS 170" OR LESS 165" WHEN OUTSIDE OF WALL IS 172" OR LESS 166" WHEN OUTSIDE OF WALL IS 172" OR LESS 167" WHEN OUTSIDE OF WALL IS 174" OR LESS 168" WHEN OUTSIDE OF WALL IS 174" OR LESS 169" WHEN OUTSIDE OF WALL IS 176" OR LESS 170" WHEN OUTSIDE OF WALL IS 176" OR LESS 171" WHEN OUTSIDE OF WALL IS 178" OR LESS 172" WHEN OUTSIDE OF WALL IS 178" OR LESS 173" WHEN OUTSIDE OF WALL IS 180" OR LESS 174" WHEN OUTSIDE OF WALL IS 180" OR LESS 175" WHEN OUTSIDE OF WALL IS 182" OR LESS 176" WHEN OUTSIDE OF WALL IS 182" OR LESS 177" WHEN OUTSIDE OF WALL IS 184" OR LESS 178" WHEN OUTSIDE OF WALL IS 184" OR LESS 179" WHEN OUTSIDE OF WALL IS 186" OR LESS 180" WHEN OUTSIDE OF WALL IS 186" OR LESS 181" WHEN OUTSIDE OF WALL IS 188" OR LESS 182" WHEN OUTSIDE OF WALL IS 188" OR LESS 183" WHEN OUTSIDE OF WALL IS 190" OR LESS 184" WHEN OUTSIDE OF WALL IS 190" OR LESS 185" WHEN OUTSIDE OF WALL IS 192" OR LESS 186" WHEN OUTSIDE OF WALL IS 192" OR LESS 187" WHEN OUTSIDE OF WALL IS 194" OR LESS 188" WHEN OUTSIDE OF WALL IS 194" OR LESS 189" WHEN OUTSIDE OF WALL IS 196" OR LESS 190" WHEN OUTSIDE OF WALL IS 196" OR LESS 191" WHEN OUTSIDE OF WALL IS 198" OR LESS 192" WHEN OUTSIDE OF WALL IS 198" OR LESS 193" WHEN OUTSIDE OF WALL IS 200" OR LESS 194" WHEN OUTSIDE OF WALL IS 200" OR LESS 195" WHEN OUTSIDE OF WALL IS 202" OR LESS 196" WHEN OUTSIDE OF WALL IS 202" OR LESS 197" WHEN OUTSIDE OF WALL IS 204" OR LESS 198" WHEN OUTSIDE OF WALL IS 204" OR LESS 199" WHEN OUTSIDE OF WALL IS 206" OR LESS 200" WHEN OUTSIDE OF WALL IS 206" OR LESS 201" WHEN OUTSIDE OF WALL IS 208" OR LESS 202" WHEN OUTSIDE OF WALL IS 208" OR LESS 203" WHEN OUTSIDE OF WALL IS 210" OR LESS 204" WHEN OUTSIDE OF WALL IS 210" OR LESS 205" WHEN OUTSIDE OF WALL IS 212" OR LESS 206" WHEN OUTSIDE OF WALL IS 212" OR LESS 207" WHEN OUTSIDE OF WALL IS 214" OR LESS 208" WHEN OUTSIDE OF WALL IS 214" OR LESS 209" WHEN OUTSIDE OF WALL IS 216" OR LESS 210" WHEN OUTSIDE OF WALL IS 216" OR LESS 211" WHEN OUTSIDE OF WALL IS 218" OR LESS 212" WHEN OUTSIDE OF WALL IS 218" OR LESS 213" WHEN OUTSIDE OF WALL IS 220" OR LESS 214" WHEN OUTSIDE OF WALL IS 220" OR LESS 215" WHEN OUTSIDE OF WALL IS 222" OR LESS 216" WHEN OUTSIDE OF WALL IS 222" OR LESS 217" WHEN OUTSIDE OF WALL IS 224" OR LESS 218" WHEN OUTSIDE OF WALL IS 224" OR LESS </td></tr></tbody></table>	OUTSIDE DIAMETER OF FLUE LINING	EFFECTIVE AREA	MAXIMUM SIZE OF FIREPLACE OPENING (DEPENDING FLUE AREA)	A - 10" ROUND	24 SQ. IN.	4000 SQ. IN.	B - 12" ROUND	36 SQ. IN.	5000 SQ. IN.	C - 14" ROUND	50 SQ. IN.	6000 SQ. IN.	D - 16" ROUND	64 SQ. IN.	7000 SQ. IN.	E - 18" ROUND	81 SQ. IN.	8000 SQ. IN.	F - 20" ROUND	100 SQ. IN.	9000 SQ. IN.	G - 22" ROUND	121 SQ. IN.	10000 SQ. IN.	H - 24" ROUND	144 SQ. IN.	11000 SQ. IN.	ITEM	LETTERS	910 UIFORM BUILDING CODE FMA QVA	HEARTH SPAD LENGTH HIGH SIDE OF OPENING	A	2"	HEARTH SPAD PROJECTION	B	6"	THICKNESS OF REED WALL	C	8" WITH PLATE LINING OR 10" WITHOUT LINING	FIREPLACE LINTEL	D	L 30" X 3" X 6" MEANT SPADS + 6"	WALLS WITH PLATE LINING	E	EXPOSED GROUP AREAS 4" THICK FROM INSIDE TO OUTSIDE NON EXPOSED GROUP AREAS 4" THICK FROM INSIDE TO OUTSIDE	WALLS WITH UNPLATE LINING	F	8" SOLID MASONRY	CLEARANCE	G	1" WHEN OUTSIDE OF WALL IS 8" OR LESS BOARD 2" WHEN OUTSIDE OF WALL IS 8" OR LESS 3" WHEN OUTSIDE OF WALL IS 10" OR LESS 4" WHEN OUTSIDE OF WALL IS 10" OR LESS 5" WHEN OUTSIDE OF WALL IS 12" OR LESS 6" WHEN OUTSIDE OF WALL IS 12" OR LESS 7" WHEN OUTSIDE OF WALL IS 14" OR LESS 8" WHEN OUTSIDE OF WALL IS 14" OR LESS 9" WHEN OUTSIDE OF WALL IS 16" OR LESS 10" WHEN OUTSIDE OF WALL IS 16" OR LESS 11" WHEN OUTSIDE OF WALL IS 18" OR LESS 12" WHEN OUTSIDE OF WALL IS 18" OR LESS 13" WHEN OUTSIDE OF WALL IS 20" OR LESS 14" WHEN OUTSIDE OF WALL IS 20" OR LESS 15" WHEN OUTSIDE OF WALL IS 22" OR LESS 16" WHEN OUTSIDE OF WALL IS 22" OR LESS 17" WHEN OUTSIDE OF WALL IS 24" OR LESS 18" WHEN OUTSIDE OF WALL IS 24" OR LESS 19" WHEN OUTSIDE OF WALL IS 26" OR LESS 20" WHEN OUTSIDE OF WALL IS 26" OR LESS 21" WHEN OUTSIDE OF WALL IS 28" OR LESS 22" WHEN OUTSIDE OF WALL IS 28" OR LESS 23" WHEN OUTSIDE OF WALL IS 30" OR LESS 24" WHEN OUTSIDE OF WALL IS 30" OR LESS 25" WHEN OUTSIDE OF WALL IS 32" OR LESS 26" WHEN OUTSIDE OF WALL IS 32" OR LESS 27" WHEN OUTSIDE OF WALL IS 34" OR LESS 28" WHEN OUTSIDE OF WALL IS 34" OR LESS 29" WHEN OUTSIDE OF WALL IS 36" OR LESS 30" WHEN OUTSIDE OF WALL IS 36" OR LESS 31" WHEN OUTSIDE OF WALL IS 38" OR LESS 32" WHEN OUTSIDE OF WALL IS 38" OR LESS 33" WHEN OUTSIDE OF WALL IS 40" OR LESS 34" WHEN OUTSIDE OF WALL IS 40" OR LESS 35" WHEN OUTSIDE OF WALL IS 42" OR LESS 36" WHEN OUTSIDE OF WALL IS 42" OR LESS 37" WHEN OUTSIDE OF WALL IS 44" OR LESS 38" WHEN OUTSIDE OF WALL IS 44" OR LESS 39" WHEN OUTSIDE OF WALL IS 46" OR LESS 40" WHEN OUTSIDE OF WALL IS 46" OR LESS 41" WHEN OUTSIDE OF WALL IS 48" OR LESS 42" WHEN OUTSIDE OF WALL IS 48" OR LESS 43" WHEN OUTSIDE OF WALL IS 50" OR LESS 44" WHEN OUTSIDE OF WALL IS 50" OR LESS 45" WHEN OUTSIDE OF WALL IS 52" OR LESS 46" WHEN OUTSIDE OF WALL IS 52" OR LESS 47" WHEN OUTSIDE OF WALL IS 54" OR LESS 48" WHEN OUTSIDE OF WALL IS 54" OR LESS 49" WHEN OUTSIDE OF WALL IS 56" OR LESS 50" WHEN OUTSIDE OF WALL IS 56" OR LESS 51" WHEN OUTSIDE OF WALL IS 58" OR LESS 52" WHEN OUTSIDE OF WALL IS 58" OR LESS 53" WHEN OUTSIDE OF WALL IS 60" OR LESS 54" WHEN OUTSIDE OF WALL IS 60" OR LESS 55" WHEN OUTSIDE OF WALL IS 62" OR LESS 56" WHEN OUTSIDE OF WALL IS 62" OR LESS 57" WHEN OUTSIDE OF WALL IS 64" OR LESS 58" WHEN OUTSIDE OF WALL IS 64" OR LESS 59" WHEN OUTSIDE OF WALL IS 66" OR LESS 60" WHEN OUTSIDE OF WALL IS 66" OR LESS 61" WHEN OUTSIDE OF WALL IS 68" OR LESS 62" WHEN OUTSIDE OF WALL IS 68" OR LESS 63" WHEN OUTSIDE OF WALL IS 70" OR LESS 64" WHEN OUTSIDE OF WALL IS 70" OR LESS 65" WHEN OUTSIDE OF WALL IS 72" OR LESS 66" WHEN OUTSIDE OF WALL IS 72" OR LESS 67" WHEN OUTSIDE OF WALL IS 74" OR LESS 68" WHEN OUTSIDE OF WALL IS 74" OR LESS 69" WHEN OUTSIDE OF WALL IS 76" OR LESS 70" WHEN OUTSIDE OF WALL IS 76" OR LESS 71" WHEN OUTSIDE OF WALL IS 78" OR LESS 72" WHEN OUTSIDE OF WALL IS 78" OR LESS 73" WHEN OUTSIDE OF WALL IS 80" OR LESS 74" WHEN OUTSIDE OF WALL IS 80" OR LESS 75" WHEN OUTSIDE OF WALL IS 82" OR LESS 76" WHEN OUTSIDE OF WALL IS 82" OR LESS 77" WHEN OUTSIDE OF WALL IS 84" OR LESS 78" WHEN OUTSIDE OF WALL IS 84" OR LESS 79" WHEN OUTSIDE OF WALL IS 86" OR LESS 80" WHEN OUTSIDE OF WALL IS 86" OR LESS 81" WHEN OUTSIDE OF WALL IS 88" OR LESS 82" WHEN OUTSIDE OF WALL IS 88" OR LESS 83" WHEN OUTSIDE OF WALL IS 90" OR LESS 84" WHEN OUTSIDE OF WALL IS 90" OR LESS 85" WHEN OUTSIDE OF WALL IS 92" OR LESS 86" WHEN OUTSIDE OF WALL IS 92" OR LESS 87" WHEN OUTSIDE OF WALL IS 94" OR LESS 88" WHEN OUTSIDE OF WALL IS 94" OR LESS 89" WHEN OUTSIDE OF WALL IS 96" OR LESS 90" WHEN OUTSIDE OF WALL IS 96" OR LESS 91" WHEN OUTSIDE OF WALL IS 98" OR LESS 92" WHEN OUTSIDE OF WALL IS 98" OR LESS 93" WHEN OUTSIDE OF WALL IS 100" OR LESS 94" WHEN OUTSIDE OF WALL IS 100" OR LESS 95" WHEN OUTSIDE OF WALL IS 102" OR LESS 96" WHEN OUTSIDE OF WALL IS 102" OR LESS 97" WHEN OUTSIDE OF WALL IS 104" OR LESS 98" WHEN OUTSIDE OF WALL IS 104" OR LESS 99" WHEN OUTSIDE OF WALL IS 106" OR LESS 100" WHEN OUTSIDE OF WALL IS 106" OR LESS 101" WHEN OUTSIDE OF WALL IS 108" OR LESS 102" WHEN OUTSIDE OF WALL IS 108" OR LESS 103" WHEN OUTSIDE OF WALL IS 110" OR LESS 104" WHEN OUTSIDE OF WALL IS 110" OR LESS 105" WHEN OUTSIDE OF WALL IS 112" OR LESS 106" WHEN OUTSIDE OF WALL IS 112" OR LESS 107" WHEN OUTSIDE OF WALL IS 114" OR LESS 108" WHEN OUTSIDE OF WALL IS 114" OR LESS 109" WHEN OUTSIDE OF WALL IS 116" OR LESS 110" WHEN OUTSIDE OF WALL IS 116" OR LESS 111" WHEN OUTSIDE OF WALL IS 118" OR LESS 112" WHEN OUTSIDE OF WALL IS 118" OR LESS 113" WHEN OUTSIDE OF WALL IS 120" OR LESS 114" WHEN OUTSIDE OF WALL IS 120" OR LESS 115" WHEN OUTSIDE OF WALL IS 122" OR LESS 116" WHEN OUTSIDE OF WALL IS 122" OR LESS 117" WHEN OUTSIDE OF WALL IS 124" OR LESS 118" WHEN OUTSIDE OF WALL IS 124" OR LESS 119" WHEN OUTSIDE OF WALL IS 126" OR LESS 120" WHEN OUTSIDE OF WALL IS 126" OR LESS 121" WHEN OUTSIDE OF WALL IS 128" OR LESS 122" WHEN OUTSIDE OF WALL IS 128" OR LESS 123" WHEN OUTSIDE OF WALL IS 130" OR LESS 124" WHEN OUTSIDE OF WALL IS 130" OR LESS 125" WHEN OUTSIDE OF WALL IS 132" OR LESS 126" WHEN OUTSIDE OF WALL IS 132" OR LESS 127" WHEN OUTSIDE OF WALL IS 134" OR LESS 128" WHEN OUTSIDE OF WALL IS 134" OR LESS 129" WHEN OUTSIDE OF WALL IS 136" OR LESS 130" WHEN OUTSIDE OF WALL IS 136" OR LESS 131" WHEN OUTSIDE OF WALL IS 138" OR LESS 132" WHEN OUTSIDE OF WALL IS 138" OR LESS 133" WHEN OUTSIDE OF WALL IS 140" OR LESS 134" WHEN OUTSIDE OF WALL IS 140" OR LESS 135" WHEN OUTSIDE OF WALL IS 142" OR LESS 136" WHEN OUTSIDE OF WALL IS 142" OR LESS 137" WHEN OUTSIDE OF WALL IS 144" OR LESS 138" WHEN OUTSIDE OF WALL IS 144" OR LESS 139" WHEN OUTSIDE OF WALL IS 146" OR LESS 140" WHEN OUTSIDE OF WALL IS 146" OR LESS 141" WHEN OUTSIDE OF WALL IS 148" OR LESS 142" WHEN OUTSIDE OF WALL IS 148" OR LESS 143" WHEN OUTSIDE OF WALL IS 150" OR LESS 144" WHEN OUTSIDE OF WALL IS 150" OR LESS 145" WHEN OUTSIDE OF WALL IS 152" OR LESS 146" WHEN OUTSIDE OF WALL IS 152" OR LESS 147" WHEN OUTSIDE OF WALL IS 154" OR LESS 148" WHEN OUTSIDE OF WALL IS 154" OR LESS 149" WHEN OUTSIDE OF WALL IS 156" OR LESS 150" WHEN OUTSIDE OF WALL IS 156" OR LESS 151" WHEN OUTSIDE OF WALL IS 158" OR LESS 152" WHEN OUTSIDE OF WALL IS 158" OR LESS 153" WHEN OUTSIDE OF WALL IS 160" OR LESS 154" WHEN OUTSIDE OF WALL IS 160" OR LESS 155" WHEN OUTSIDE OF WALL IS 162" OR LESS 156" WHEN OUTSIDE OF WALL IS 162" OR LESS 157" WHEN OUTSIDE OF WALL IS 164" OR LESS 158" WHEN OUTSIDE OF WALL IS 164" OR LESS 159" WHEN OUTSIDE OF WALL IS 166" OR LESS 160" WHEN OUTSIDE OF WALL IS 166" OR LESS 161" WHEN OUTSIDE OF WALL IS 168" OR LESS 162" WHEN OUTSIDE OF WALL IS 168" OR LESS 163" WHEN OUTSIDE OF WALL IS 170" OR LESS 164" WHEN OUTSIDE OF WALL IS 170" OR LESS 165" WHEN OUTSIDE OF WALL IS 172" OR LESS 166" WHEN OUTSIDE OF WALL IS 172" OR LESS 167" WHEN OUTSIDE OF WALL IS 174" OR LESS 168" WHEN OUTSIDE OF WALL IS 174" OR LESS 169" WHEN OUTSIDE OF WALL IS 176" OR LESS 170" WHEN OUTSIDE OF WALL IS 176" OR LESS 171" WHEN OUTSIDE OF WALL IS 178" OR LESS 172" WHEN OUTSIDE OF WALL IS 178" OR LESS 173" WHEN OUTSIDE OF WALL IS 180" OR LESS 174" WHEN OUTSIDE OF WALL IS 180" OR LESS 175" WHEN OUTSIDE OF WALL IS 182" OR LESS 176" WHEN OUTSIDE OF WALL IS 182" OR LESS 177" WHEN OUTSIDE OF WALL IS 184" OR LESS 178" WHEN OUTSIDE OF WALL IS 184" OR LESS 179" WHEN OUTSIDE OF WALL IS 186" OR LESS 180" WHEN OUTSIDE OF WALL IS 186" OR LESS 181" WHEN OUTSIDE OF WALL IS 188" OR LESS 182" WHEN OUTSIDE OF WALL IS 188" OR LESS 183" WHEN OUTSIDE OF WALL IS 190" OR LESS 184" WHEN OUTSIDE OF WALL IS 190" OR LESS 185" WHEN OUTSIDE OF WALL IS 192" OR LESS 186" WHEN OUTSIDE OF WALL IS 192" OR LESS 187" WHEN OUTSIDE OF WALL IS 194" OR LESS 188" WHEN OUTSIDE OF WALL IS 194" OR LESS 189" WHEN OUTSIDE OF WALL IS 196" OR LESS 190" WHEN OUTSIDE OF WALL IS 196" OR LESS 191" WHEN OUTSIDE OF WALL IS 198" OR LESS 192" WHEN OUTSIDE OF WALL IS 198" OR LESS 193" WHEN OUTSIDE OF WALL IS 200" OR LESS 194" WHEN OUTSIDE OF WALL IS 200" OR LESS 195" WHEN OUTSIDE OF WALL IS 202" OR LESS 196" WHEN OUTSIDE OF WALL IS 202" OR LESS 197" WHEN OUTSIDE OF WALL IS 204" OR LESS 198" WHEN OUTSIDE OF WALL IS 204" OR LESS 199" WHEN OUTSIDE OF WALL IS 206" OR LESS 200" WHEN OUTSIDE OF WALL IS 206" OR LESS 201" WHEN OUTSIDE OF WALL IS 208" OR LESS 202" WHEN OUTSIDE OF WALL IS 208" OR LESS 203" WHEN OUTSIDE OF WALL IS 210" OR LESS 204" WHEN OUTSIDE OF WALL IS 210" OR LESS 205" WHEN OUTSIDE OF WALL IS 212" OR LESS 206" WHEN OUTSIDE OF WALL IS 212" OR LESS 207" WHEN OUTSIDE OF WALL IS 214" OR LESS 208" WHEN OUTSIDE OF WALL IS 214" OR LESS 209" WHEN OUTSIDE OF WALL IS 216" OR LESS 210" WHEN OUTSIDE OF WALL IS 216" OR LESS 211" WHEN OUTSIDE OF WALL IS 218" OR LESS 212" WHEN OUTSIDE OF WALL IS 218" OR LESS 213" WHEN OUTSIDE OF WALL IS 220" OR LESS 214" WHEN OUTSIDE OF WALL IS 220" OR LESS 215" WHEN OUTSIDE OF WALL IS 222" OR LESS 216" WHEN OUTSIDE OF WALL IS 222" OR LESS 217" WHEN OUTSIDE OF WALL IS 224" OR LESS 218" WHEN OUTSIDE OF WALL IS 224" OR LESS
OUTSIDE DIAMETER OF FLUE LINING	EFFECTIVE AREA	MAXIMUM SIZE OF FIREPLACE OPENING (DEPENDING FLUE AREA)																																																				
A - 10" ROUND	24 SQ. IN.	4000 SQ. IN.																																																				
B - 12" ROUND	36 SQ. IN.	5000 SQ. IN.																																																				
C - 14" ROUND	50 SQ. IN.	6000 SQ. IN.																																																				
D - 16" ROUND	64 SQ. IN.	7000 SQ. IN.																																																				
E - 18" ROUND	81 SQ. IN.	8000 SQ. IN.																																																				
F - 20" ROUND	100 SQ. IN.	9000 SQ. IN.																																																				
G - 22" ROUND	121 SQ. IN.	10000 SQ. IN.																																																				
H - 24" ROUND	144 SQ. IN.	11000 SQ. IN.																																																				
ITEM	LETTERS	910 UIFORM BUILDING CODE FMA QVA																																																				
HEARTH SPAD LENGTH HIGH SIDE OF OPENING	A	2"																																																				
HEARTH SPAD PROJECTION	B	6"																																																				
THICKNESS OF REED WALL	C	8" WITH PLATE LINING OR 10" WITHOUT LINING																																																				
FIREPLACE LINTEL	D	L 30" X 3" X 6" MEANT SPADS + 6"																																																				
WALLS WITH PLATE LINING	E	EXPOSED GROUP AREAS 4" THICK FROM INSIDE TO OUTSIDE NON EXPOSED GROUP AREAS 4" THICK FROM INSIDE TO OUTSIDE																																																				
WALLS WITH UNPLATE LINING	F	8" SOLID MASONRY																																																				
CLEARANCE	G	1" WHEN OUTSIDE OF WALL IS 8" OR LESS BOARD 2" WHEN OUTSIDE OF WALL IS 8" OR LESS 3" WHEN OUTSIDE OF WALL IS 10" OR LESS 4" WHEN OUTSIDE OF WALL IS 10" OR LESS 5" WHEN OUTSIDE OF WALL IS 12" OR LESS 6" WHEN OUTSIDE OF WALL IS 12" OR LESS 7" WHEN OUTSIDE OF WALL IS 14" OR LESS 8" WHEN OUTSIDE OF WALL IS 14" OR LESS 9" WHEN OUTSIDE OF WALL IS 16" OR LESS 10" WHEN OUTSIDE OF WALL IS 16" OR LESS 11" WHEN OUTSIDE OF WALL IS 18" OR LESS 12" WHEN OUTSIDE OF WALL IS 18" OR LESS 13" WHEN OUTSIDE OF WALL IS 20" OR LESS 14" WHEN OUTSIDE OF WALL IS 20" OR LESS 15" WHEN OUTSIDE OF WALL IS 22" OR LESS 16" WHEN OUTSIDE OF WALL IS 22" OR LESS 17" WHEN OUTSIDE OF WALL IS 24" OR LESS 18" WHEN OUTSIDE OF WALL IS 24" OR LESS 19" WHEN OUTSIDE OF WALL IS 26" OR LESS 20" WHEN OUTSIDE OF WALL IS 26" OR LESS 21" WHEN OUTSIDE OF WALL IS 28" OR LESS 22" WHEN OUTSIDE OF WALL IS 28" OR LESS 23" WHEN OUTSIDE OF WALL IS 30" OR LESS 24" WHEN OUTSIDE OF WALL IS 30" OR LESS 25" WHEN OUTSIDE OF WALL IS 32" OR LESS 26" WHEN OUTSIDE OF WALL IS 32" OR LESS 27" WHEN OUTSIDE OF WALL IS 34" OR LESS 28" WHEN OUTSIDE OF WALL IS 34" OR LESS 29" WHEN OUTSIDE OF WALL IS 36" OR LESS 30" WHEN OUTSIDE OF WALL IS 36" OR LESS 31" WHEN OUTSIDE OF WALL IS 38" OR LESS 32" WHEN OUTSIDE OF WALL IS 38" OR LESS 33" WHEN OUTSIDE OF WALL IS 40" OR LESS 34" WHEN OUTSIDE OF WALL IS 40" OR LESS 35" WHEN OUTSIDE OF WALL IS 42" OR LESS 36" WHEN OUTSIDE OF WALL IS 42" OR LESS 37" WHEN OUTSIDE OF WALL IS 44" OR LESS 38" WHEN OUTSIDE OF WALL IS 44" OR LESS 39" WHEN OUTSIDE OF WALL IS 46" OR LESS 40" WHEN OUTSIDE OF WALL IS 46" OR LESS 41" WHEN OUTSIDE OF WALL IS 48" OR LESS 42" WHEN OUTSIDE OF WALL IS 48" OR LESS 43" WHEN OUTSIDE OF WALL IS 50" OR LESS 44" WHEN OUTSIDE OF WALL IS 50" OR LESS 45" WHEN OUTSIDE OF WALL IS 52" OR LESS 46" WHEN OUTSIDE OF WALL IS 52" OR LESS 47" WHEN OUTSIDE OF WALL IS 54" OR LESS 48" WHEN OUTSIDE OF WALL IS 54" OR LESS 49" WHEN OUTSIDE OF WALL IS 56" OR LESS 50" WHEN OUTSIDE OF WALL IS 56" OR LESS 51" WHEN OUTSIDE OF WALL IS 58" OR LESS 52" WHEN OUTSIDE OF WALL IS 58" OR LESS 53" WHEN OUTSIDE OF WALL IS 60" OR LESS 54" WHEN OUTSIDE OF WALL IS 60" OR LESS 55" WHEN OUTSIDE OF WALL IS 62" OR LESS 56" WHEN OUTSIDE OF WALL IS 62" OR LESS 57" WHEN OUTSIDE OF WALL IS 64" OR LESS 58" WHEN OUTSIDE OF WALL IS 64" OR LESS 59" WHEN OUTSIDE OF WALL IS 66" OR LESS 60" WHEN OUTSIDE OF WALL IS 66" OR LESS 61" WHEN OUTSIDE OF WALL IS 68" OR LESS 62" WHEN OUTSIDE OF WALL IS 68" OR LESS 63" WHEN OUTSIDE OF WALL IS 70" OR LESS 64" WHEN OUTSIDE OF WALL IS 70" OR LESS 65" WHEN OUTSIDE OF WALL IS 72" OR LESS 66" WHEN OUTSIDE OF WALL IS 72" OR LESS 67" WHEN OUTSIDE OF WALL IS 74" OR LESS 68" WHEN OUTSIDE OF WALL IS 74" OR LESS 69" WHEN OUTSIDE OF WALL IS 76" OR LESS 70" WHEN OUTSIDE OF WALL IS 76" OR LESS 71" WHEN OUTSIDE OF WALL IS 78" OR LESS 72" WHEN OUTSIDE OF WALL IS 78" OR LESS 73" WHEN OUTSIDE OF WALL IS 80" OR LESS 74" WHEN OUTSIDE OF WALL IS 80" OR LESS 75" WHEN OUTSIDE OF WALL IS 82" OR LESS 76" WHEN OUTSIDE OF WALL IS 82" OR LESS 77" WHEN OUTSIDE OF WALL IS 84" OR LESS 78" WHEN OUTSIDE OF WALL IS 84" OR LESS 79" WHEN OUTSIDE OF WALL IS 86" OR LESS 80" WHEN OUTSIDE OF WALL IS 86" OR LESS 81" WHEN OUTSIDE OF WALL IS 88" OR LESS 82" WHEN OUTSIDE OF WALL IS 88" OR LESS 83" WHEN OUTSIDE OF WALL IS 90" OR LESS 84" WHEN OUTSIDE OF WALL IS 90" OR LESS 85" WHEN OUTSIDE OF WALL IS 92" OR LESS 86" WHEN OUTSIDE OF WALL IS 92" OR LESS 87" WHEN OUTSIDE OF WALL IS 94" OR LESS 88" WHEN OUTSIDE OF WALL IS 94" OR LESS 89" WHEN OUTSIDE OF WALL IS 96" OR LESS 90" WHEN OUTSIDE OF WALL IS 96" OR LESS 91" WHEN OUTSIDE OF WALL IS 98" OR LESS 92" WHEN OUTSIDE OF WALL IS 98" OR LESS 93" WHEN OUTSIDE OF WALL IS 100" OR LESS 94" WHEN OUTSIDE OF WALL IS 100" OR LESS 95" WHEN OUTSIDE OF WALL IS 102" OR LESS 96" WHEN OUTSIDE OF WALL IS 102" OR LESS 97" WHEN OUTSIDE OF WALL IS 104" OR LESS 98" WHEN OUTSIDE OF WALL IS 104" OR LESS 99" WHEN OUTSIDE OF WALL IS 106" OR LESS 100" WHEN OUTSIDE OF WALL IS 106" OR LESS 101" WHEN OUTSIDE OF WALL IS 108" OR LESS 102" WHEN OUTSIDE OF WALL IS 108" OR LESS 103" WHEN OUTSIDE OF WALL IS 110" OR LESS 104" WHEN OUTSIDE OF WALL IS 110" OR LESS 105" WHEN OUTSIDE OF WALL IS 112" OR LESS 106" WHEN OUTSIDE OF WALL IS 112" OR LESS 107" WHEN OUTSIDE OF WALL IS 114" OR LESS 108" WHEN OUTSIDE OF WALL IS 114" OR LESS 109" WHEN OUTSIDE OF WALL IS 116" OR LESS 110" WHEN OUTSIDE OF WALL IS 116" OR LESS 111" WHEN OUTSIDE OF WALL IS 118" OR LESS 112" WHEN OUTSIDE OF WALL IS 118" OR LESS 113" WHEN OUTSIDE OF WALL IS 120" OR LESS 114" WHEN OUTSIDE OF WALL IS 120" OR LESS 115" WHEN OUTSIDE OF WALL IS 122" OR LESS 116" WHEN OUTSIDE OF WALL IS 122" OR LESS 117" WHEN OUTSIDE OF WALL IS 124" OR LESS 118" WHEN OUTSIDE OF WALL IS 124" OR LESS 119" WHEN OUTSIDE OF WALL IS 126" OR LESS 120" WHEN OUTSIDE OF WALL IS 126" OR LESS 121" WHEN OUTSIDE OF WALL IS 128" OR LESS 122" WHEN OUTSIDE OF WALL IS 128" OR LESS 123" WHEN OUTSIDE OF WALL IS 130" OR LESS 124" WHEN OUTSIDE OF WALL IS 130" OR LESS 125" WHEN OUTSIDE OF WALL IS 132" OR LESS 126" WHEN OUTSIDE OF WALL IS 132" OR LESS 127" WHEN OUTSIDE OF WALL IS 134" OR LESS 128" WHEN OUTSIDE OF WALL IS 134" OR LESS 129" WHEN OUTSIDE OF WALL IS 136" OR LESS 130" WHEN OUTSIDE OF WALL IS 136" OR LESS 131" WHEN OUTSIDE OF WALL IS 138" OR LESS 132" WHEN OUTSIDE OF WALL IS 138" OR LESS 133" WHEN OUTSIDE OF WALL IS 140" OR LESS 134" WHEN OUTSIDE OF WALL IS 140" OR LESS 135" WHEN OUTSIDE OF WALL IS 142" OR LESS 136" WHEN OUTSIDE OF WALL IS 142" OR LESS 137" WHEN OUTSIDE OF WALL IS 144" OR LESS 138" WHEN OUTSIDE OF WALL IS 144" OR LESS 139" WHEN OUTSIDE OF WALL IS 146" OR LESS 140" WHEN OUTSIDE OF WALL IS 146" OR LESS 141" WHEN OUTSIDE OF WALL IS 148" OR LESS 142" WHEN OUTSIDE OF WALL IS 148" OR LESS 143" WHEN OUTSIDE OF WALL IS 150" OR LESS 144" WHEN OUTSIDE OF WALL IS 150" OR LESS 145" WHEN OUTSIDE OF WALL IS 152" OR LESS 146" WHEN OUTSIDE OF WALL IS 152" OR LESS 147" WHEN OUTSIDE OF WALL IS 154" OR LESS 148" WHEN OUTSIDE OF WALL IS 154" OR LESS 149" WHEN OUTSIDE OF WALL IS 156" OR LESS 150" WHEN OUTSIDE OF WALL IS 156" OR LESS 151" WHEN OUTSIDE OF WALL IS 158" OR LESS 152" WHEN OUTSIDE OF WALL IS 158" OR LESS 153" WHEN OUTSIDE OF WALL IS 160" OR LESS 154" WHEN OUTSIDE OF WALL IS 160" OR LESS 155" WHEN OUTSIDE OF WALL IS 162" OR LESS 156" WHEN OUTSIDE OF WALL IS 162" OR LESS 157" WHEN OUTSIDE OF WALL IS 164" OR LESS 158" WHEN OUTSIDE OF WALL IS 164" OR LESS 159" WHEN OUTSIDE OF WALL IS 166" OR LESS 160" WHEN OUTSIDE OF WALL IS 166" OR LESS 161" WHEN OUTSIDE OF WALL IS 168" OR LESS 162" WHEN OUTSIDE OF WALL IS 168" OR LESS 163" WHEN OUTSIDE OF WALL IS 170" OR LESS 164" WHEN OUTSIDE OF WALL IS 170" OR LESS 165" WHEN OUTSIDE OF WALL IS 172" OR LESS 166" WHEN OUTSIDE OF WALL IS 172" OR LESS 167" WHEN OUTSIDE OF WALL IS 174" OR LESS 168" WHEN OUTSIDE OF WALL IS 174" OR LESS 169" WHEN OUTSIDE OF WALL IS 176" OR LESS 170" WHEN OUTSIDE OF WALL IS 176" OR LESS 171" WHEN OUTSIDE OF WALL IS 178" OR LESS 172" WHEN OUTSIDE OF WALL IS 178" OR LESS 173" WHEN OUTSIDE OF WALL IS 180" OR LESS 174" WHEN OUTSIDE OF WALL IS 180" OR LESS 175" WHEN OUTSIDE OF WALL IS 182" OR LESS 176" WHEN OUTSIDE OF WALL IS 182" OR LESS 177" WHEN OUTSIDE OF WALL IS 184" OR LESS 178" WHEN OUTSIDE OF WALL IS 184" OR LESS 179" WHEN OUTSIDE OF WALL IS 186" OR LESS 180" WHEN OUTSIDE OF WALL IS 186" OR LESS 181" WHEN OUTSIDE OF WALL IS 188" OR LESS 182" WHEN OUTSIDE OF WALL IS 188" OR LESS 183" WHEN OUTSIDE OF WALL IS 190" OR LESS 184" WHEN OUTSIDE OF WALL IS 190" OR LESS 185" WHEN OUTSIDE OF WALL IS 192" OR LESS 186" WHEN OUTSIDE OF WALL IS 192" OR LESS 187" WHEN OUTSIDE OF WALL IS 194" OR LESS 188" WHEN OUTSIDE OF WALL IS 194" OR LESS 189" WHEN OUTSIDE OF WALL IS 196" OR LESS 190" WHEN OUTSIDE OF WALL IS 196" OR LESS 191" WHEN OUTSIDE OF WALL IS 198" OR LESS 192" WHEN OUTSIDE OF WALL IS 198" OR LESS 193" WHEN OUTSIDE OF WALL IS 200" OR LESS 194" WHEN OUTSIDE OF WALL IS 200" OR LESS 195" WHEN OUTSIDE OF WALL IS 202" OR LESS 196" WHEN OUTSIDE OF WALL IS 202" OR LESS 197" WHEN OUTSIDE OF WALL IS 204" OR LESS 198" WHEN OUTSIDE OF WALL IS 204" OR LESS 199" WHEN OUTSIDE OF WALL IS 206" OR LESS 200" WHEN OUTSIDE OF WALL IS 206" OR LESS 201" WHEN OUTSIDE OF WALL IS 208" OR LESS 202" WHEN OUTSIDE OF WALL IS 208" OR LESS 203" WHEN OUTSIDE OF WALL IS 210" OR LESS 204" WHEN OUTSIDE OF WALL IS 210" OR LESS 205" WHEN OUTSIDE OF WALL IS 212" OR LESS 206" WHEN OUTSIDE OF WALL IS 212" OR LESS 207" WHEN OUTSIDE OF WALL IS 214" OR LESS 208" WHEN OUTSIDE OF WALL IS 214" OR LESS 209" WHEN OUTSIDE OF WALL IS 216" OR LESS 210" WHEN OUTSIDE OF WALL IS 216" OR LESS 211" WHEN OUTSIDE OF WALL IS 218" OR LESS 212" WHEN OUTSIDE OF WALL IS 218" OR LESS 213" WHEN OUTSIDE OF WALL IS 220" OR LESS 214" WHEN OUTSIDE OF WALL IS 220" OR LESS 215" WHEN OUTSIDE OF WALL IS 222" OR LESS 216" WHEN OUTSIDE OF WALL IS 222" OR LESS 217" WHEN OUTSIDE OF WALL IS 224" OR LESS 218" WHEN OUTSIDE OF WALL IS 224" OR LESS 																																																				