

Canyon Creek

SHEET INDEX

NO.	DESCRIPTION	GENERAL NOTES
01		
02	PLAN 221	FOUNDATION PLANS FLOOR PLAN PLUMBING & MECH. PLANS FRAMING PLANS FRAMING SECTIONS & INT. ELEV. FRAMING SECTIONS & INT. ELEV. EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
03		
04	PLAN 321	FOUNDATION PLAN FLOOR PLAN PLUMBING & MECH. PLAN FRAMING SECTIONS FRAMING SECTION & INT. ELEV. EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REV. FOUND. & FLOOR PLAN
05		
06	PLAN 322	FOUNDATION PLANS FLOOR PLANS PLUMBING & MECH. PLANS FRAMING PLANS FRAMING SECTIONS INTERIOR ELEVATIONS EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
07		
08	PLAN 442	FOUNDATION PLANS FLOOR PLANS PLUMBING & MECH. PLANS FRAMING PLANS 3-CAR GARAGE ADDENDA FRAMING SECTIONS INTERIOR ELEVATIONS EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
09		
10	PLAN 522	FOUNDATION PLAN FLOOR PLANS PLUMBING, MECH. & ELECT. PLAN FRAMING PLANS FRAMING SECTIONS INTERIOR ELEVATIONS EXTERIOR ELEVATION A EXTERIOR ELEVATION B EXTERIOR ELEVATION C REVERSE FLOOR PLANS
11		
12	DETAILS	FOUNDATION ROOF ARCHITECTURAL ARCHITECTURAL FIREPLACE
13		
14		TOTAL ORIGINALS

LOCATION:

IRVINE ^{with} NorthWood
TRACT 19355



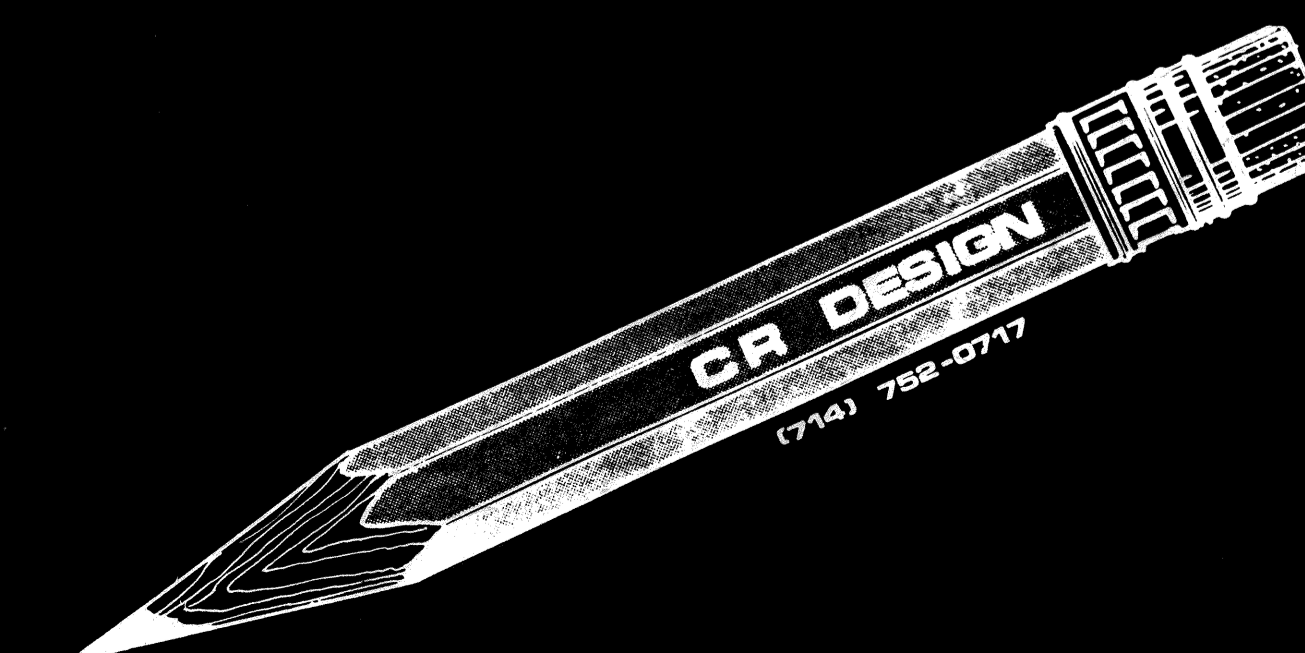
MAR 5, 1980

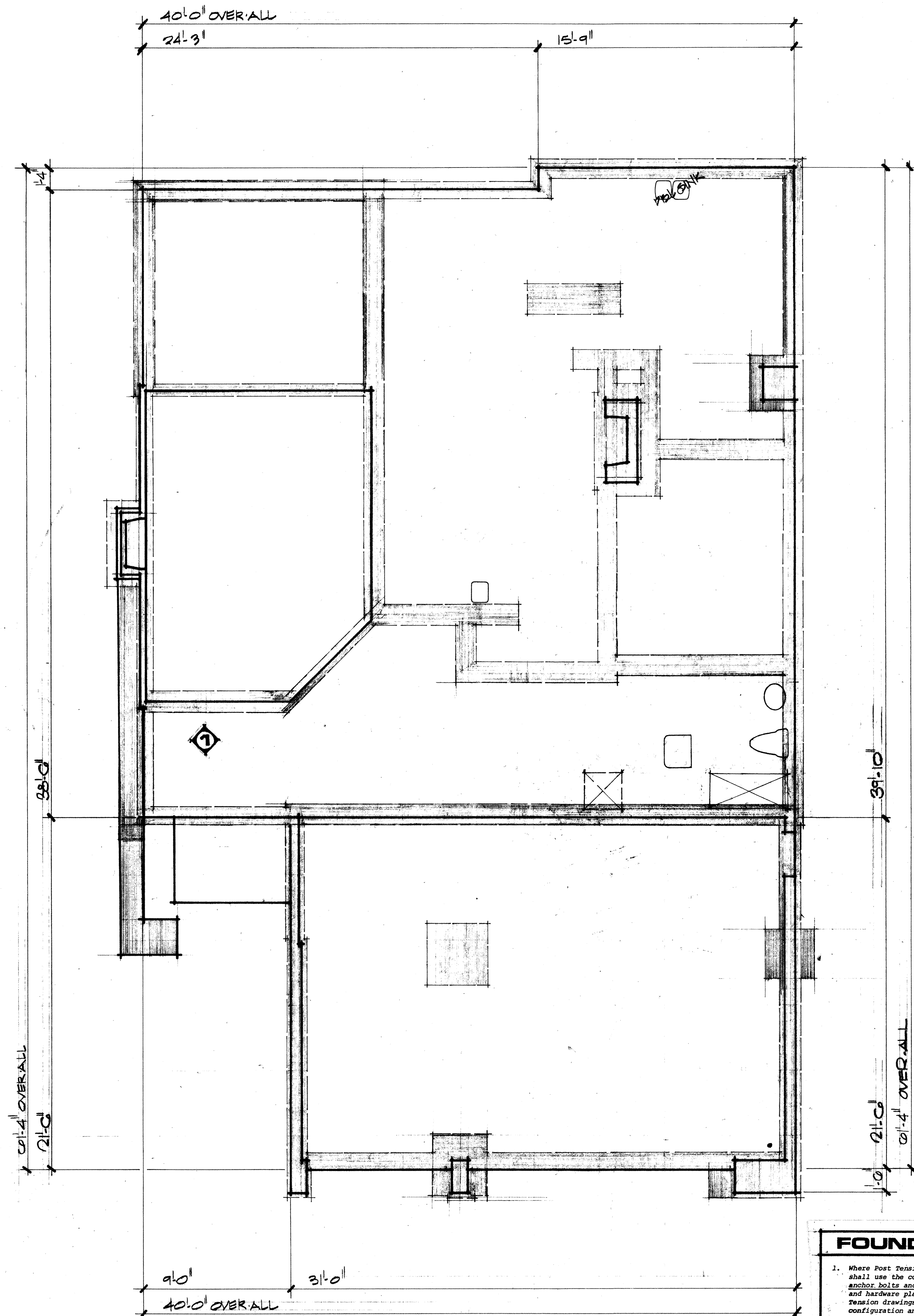
DATE:

PRINTED:

The Merster Company

2082 Business Center Drive, Suite 200 Irvine, California 92715

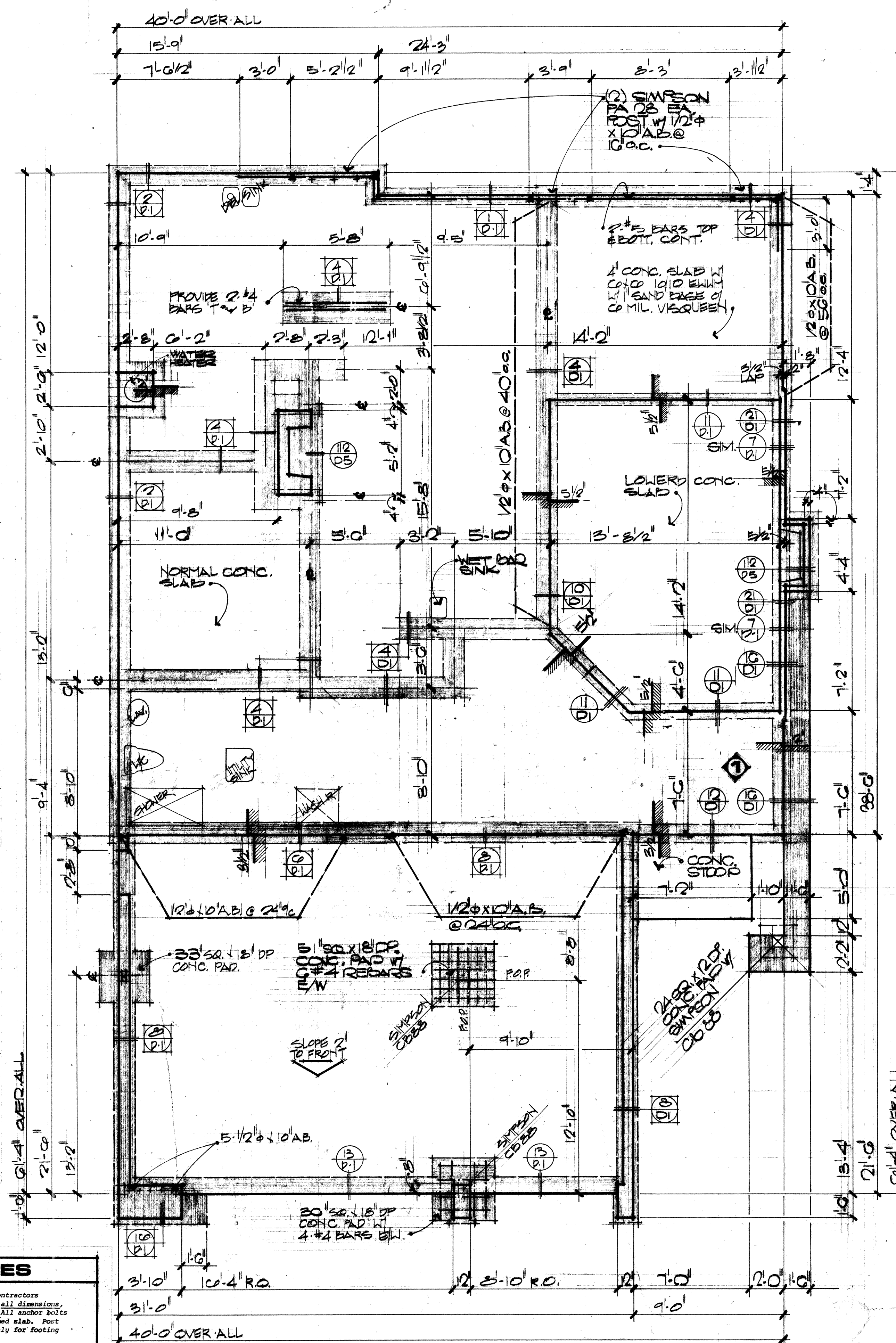




REV. FOUND. PLANS

FOUNDATION NOTES

1. Where Post Tension concrete slabs are required the contractors shall use the conventional foundation plan above for all dimensions, anchor bolts and all other structural related data. All anchor bolts and hardware placement requires a minimum 12" thickened slab. Post Tension drawings to be by others and shall be used only for footing configuration and tendon placement.
2. This foundation plan has been drawn to match the exterior elevation "A". The contractor should see the elevation addendas for elevations "B" & "C" for design changes that may occur. All structural notes and information reflected on basic plan shall apply to all elevations unless noted otherwise.
3. Provide 1/2" dia. x 10" A.B. @ 22" o.c. unless noted otherwise.
4. Provide Ufer ground 1/2" dia. x 20' reinforcement bar at electrical service.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

○ Indicates one story footing. □ Indicates two story footing.

CR DESIGN
 3009 BUSINESS CENTER DRIVE
 IRVINE CALIFORNIA 92715
 SUITE 245 (714) 755-0717
 C.R. DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
FOR CONSTRUCTION
 DATE: _____
 JOB NUMBER: _____
 DRAWN BY: _____
 REVISIONS: _____
 SHEET NUMBER

PLAN NOTES

- 1 Indicates floor plan note location.
- 1 Provide fire resistive material between garage & second floor, 5/8" Type "X" fire shield gyp. bd. nailed w/6d cooler nails at 7" o.c. All framing members to be 16" o.c.
- 2 Provide fire resistive material between house & garage w/one layer 5/8" Type "X" gyp. bd. w/6d cooler nails @ 7" o.c. on garage wall side to roof sheathing or floor above.
- 3 Provide 5/8" Type "X" gyp. bd. applied to bottom side of stringers & adjacent walls under stairs.
- 4 22"x30" attic access.
- 5 30" high handrail, see detail.
- 6 32" high handrail, see detail.
- 7 42" high handrail @ stair landing, see detail.
- 8 Dead bolt @ top of door.
- 9 Dead bolt @ top & bottom of door.
- 10 Tile @ entry.
- 11 Open grade planter below exposed stair stringers. Provide hose bib.
- 12 Floating soffit - see Framing Section.
- 13 Mirrored wardrobe door.
- 14 Sculptured planter niche w/dry-wall liner
- 15 Fireplace w/24" deep brick hearth to be installed with fully operational damper shut-off, and must be tight closing to allow for airborne sound attenuation.

NOTES:

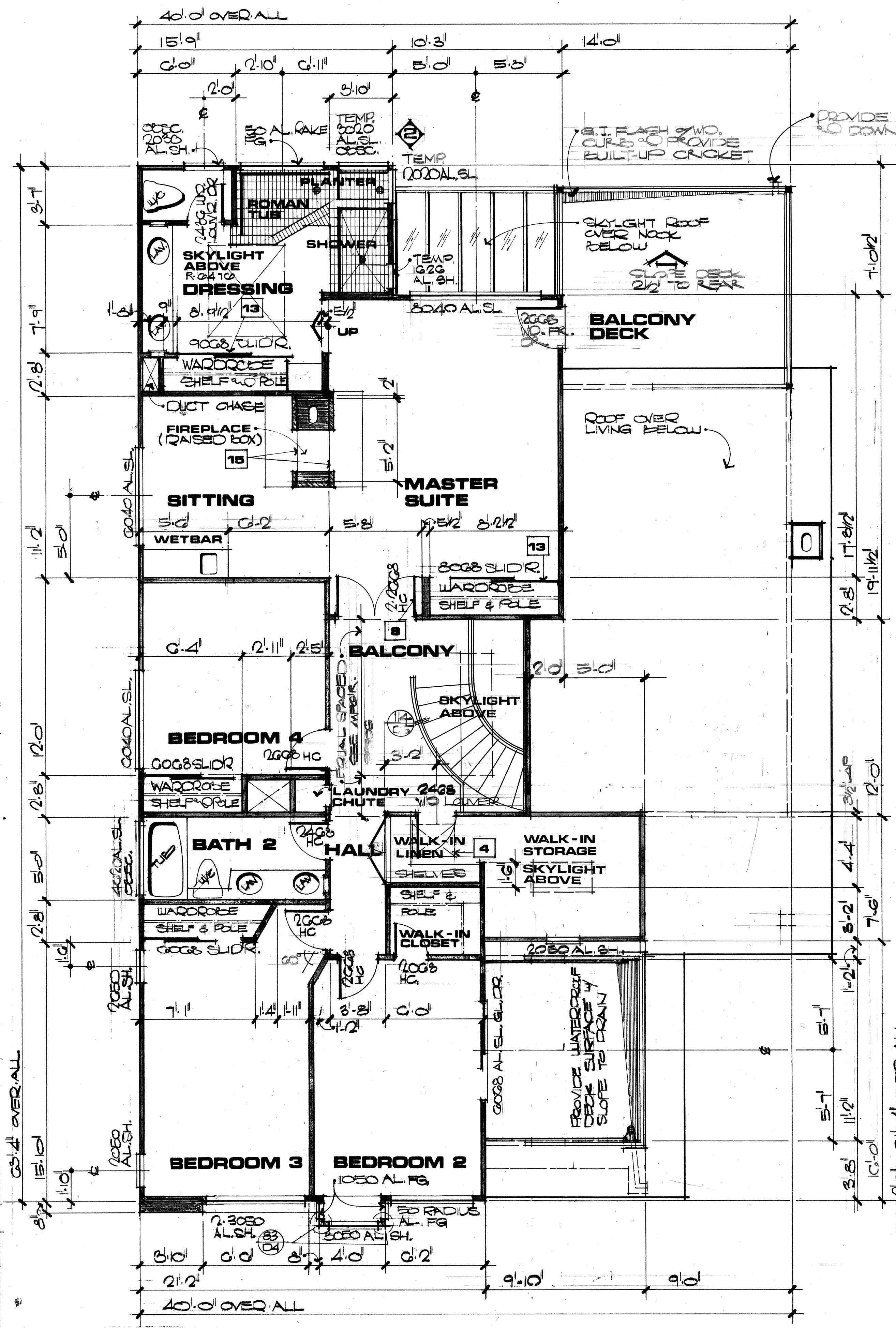
- 1. This floor plan has been drawn to match ext. elev. A. See floor plan elevation addendas for elevations B & C for any conditions that may vary due to design changes.
- 2. All dimensions shown in plan relate dimensionally to face of studs, typically.
- 3. All doors, windows and glazing shall conform to the building security requirements per local city ordinances.
- 4. All glazing to be double-strength glass.

INSULATION:

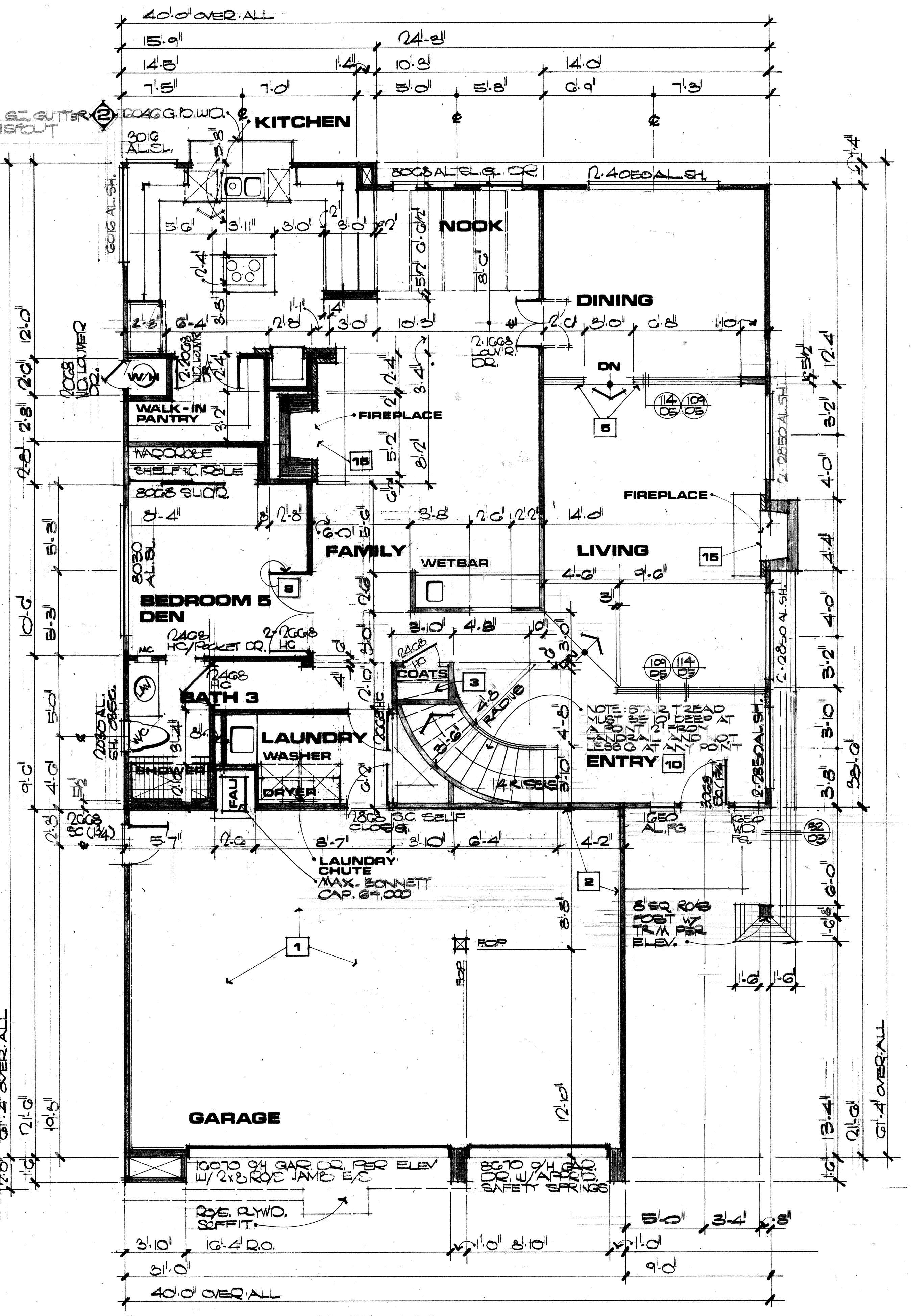
WALL = R-13
ROOF = R-19

SG. FT.

LIVING 2900 TOTAL SG. FT.
GARAGE 713 SG. FT.
PORCH 60 SG. FT.



SECOND FLOOR PLAN
1355 SQ. FT.



FIRST FLOOR PLAN
1545 SQ. FT.

CR DESIGN
 2022 BUSINESS CENTER DRIVE
 IRVINE, CALIFORNIA 92614
 PHONE: 949.261.7272
 FAX: 949.261.7273
 WWW.CRDESIGN.COM

FOR CONSTRUCTION

Canyon Creek

SHEET NUMBER

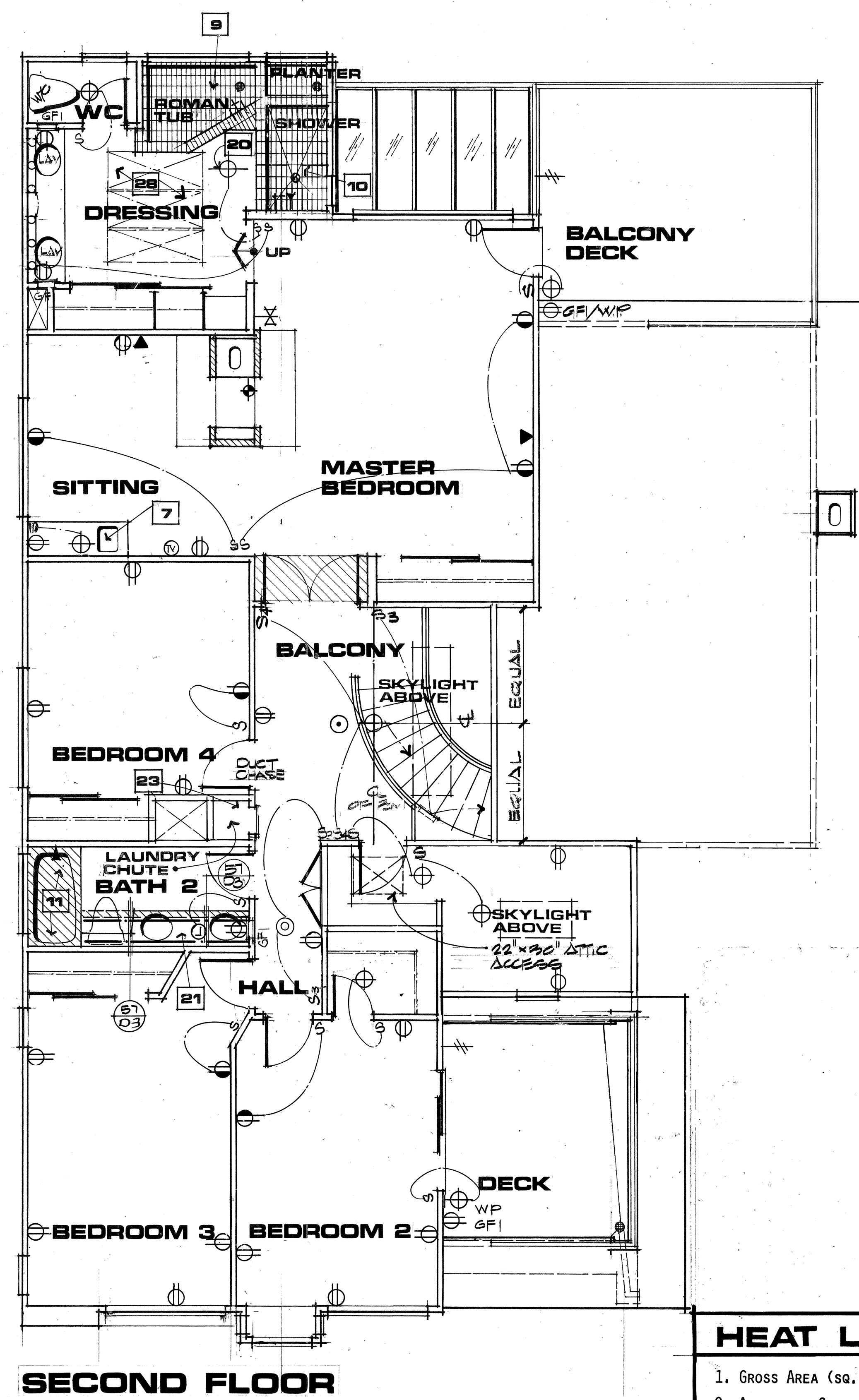
FLOOR PLAN NOTES

- 1 21"x32" dbl. kitchen sinks w/ garbage disposal.
- 2 Built-in dishwasher w/24" min. space.
- 3 30" cook top w/hood and light over. (Vent to outside air.)
- 4 Provide built-in double oven w/microwave.
- 5 39" refrigerator space (plumb. ice maker).
- 6 Optional trash compactor.
- 7 9"x12" stainless steel wet bar sink.
- 8 Fiber glass utility sink. See Interiors.
- 9 Ceramic tile Roman tub over hot mopped framed area. See floor plan for dimensions & ceramic tile wainscot application & applicable details. Provide curtain rod where applicable. Min. 12" deep from top of dam to bottom of tub.
- 10 Ceramic tile hot mopped shower w/ceramic tile wainscot as per floor plan & details. Provide shatter-proof glass enclosure (3/16 tempered clear plate glass).
- 11 32"x60" cast iron tub w/ ceramic wainscot to underside of soffit above.
- 12 Provide waste & water for washing machine.
- 13 Dryer vent to outside air (See General Notes).
- 14 Water heater to be strapped for lateral support if non-rigid water connections are not used.
- 15 Provide 24" high wood platform for water heater.
- 16 24" high platform for FAU & water heater. (3" diameter pipe column required if platform under 24" from floor).
- 17 Provide 16" high platform for FAU w/return air supply below (min. 200 sq. inches).
- 18 Return air supply (min. 200 sq. inches opening).
- 19 Provide 1 sq. inch for each 1000 BTUs under 500 combustion air ventilation within 12" from ceiling.
- 20 Hanging fixture.
- 21 Luminous light soffit over pullman. See Detail.
- 22 22"x30" luminous light away. Attic access.
- 23 Laundry chute w/sheet metal liner and door.
- 24 Provide 3" PVC drain-pipe to daylight.
- 25 All FAU ducts penetrating occupancy separation walls shall be constructed of minimum 26" gauge steel.
- 26 Termination of all mechanical vents shall comply to Section 906 of the Uniform Building Code.
- 27 Provide drain for planting area.
- 28 Skylight above - see plan for model number.
- 29 Luminous light soffit above - see Detail.
- 30 Mechanical wall.
- 31 All smoke detectors shall be interconnected and approved for same by State Fire Marshal.

INSULATION:
WALL = R-13
ROOF = R-30

SYMBOLS

Electrical & Mechanical:	Flush ceiling light	Jay box
110 V wall outlet	Bracket light	Hose bibb
1/2 hot 110 V outlet	5 min. air exchange fan	Hose bibb w/shutoff
110 V floor outlet	Chimes	Log lighter
Ground fault interrupter	Doorbell pushbutton	Fuel gas
220 V outlet	Telephone jack	Recessed can light
Switch	Thermostat	Check valve
3 way switch	Smoke detector	Vacuum cleaner stub
Ceiling light	TV outlet	Luminous address light
	Plumb. for ice maker	Return air



SECOND FLOOR

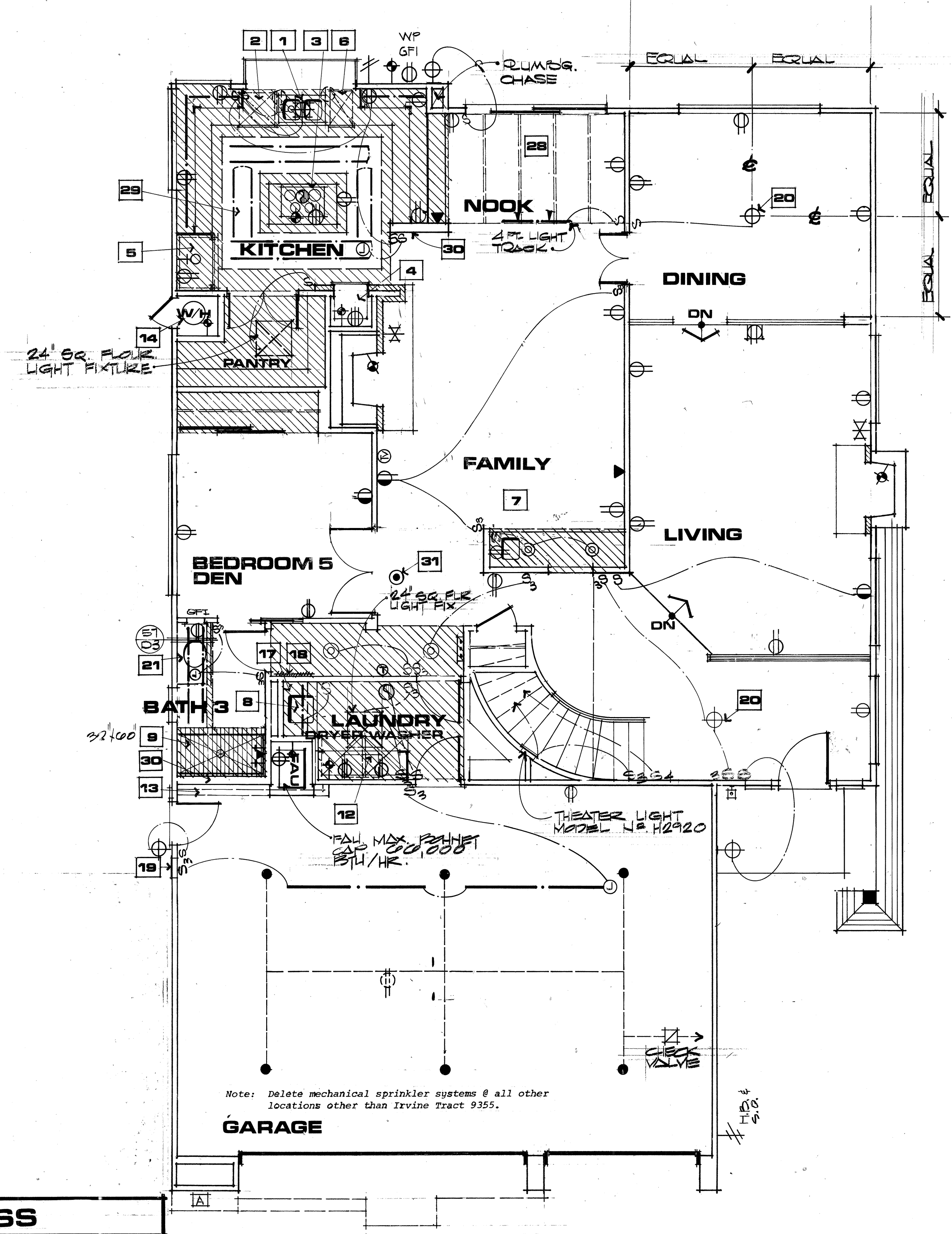
HEAT LOSS

1. GROSS AREA (sq.ft.):	2,900 sq.ft.
2. ALLOWABLE GLAZING:	464 sq.ft.
3. PROPOSED GLAZING:	651 sq.ft.
4. PROPOSED DESIGN:	
A. SINGLE SKYLIGHTS	515 sq.ft.
B. SINGLE SKYLIGHTS	119 sq.ft.
C. SINGLE FRENCH DOORS	17 sq.ft.
5. SEE MECHANICAL HEAT LOSS CALCULATIONS BY RICHARD A. PALMER AND ASSOCIATES.	
6. MAX. BONNET CAPACITY:	95,654 BTU
7. PROVIDE R-13 WALL / R-30 ROOF INSULATION.	

FIRST FLOOR

Note: Appliances installed in garages which generate a glow, spark or flame capable of igniting flammable vapors shall be installed with pilots & burners or heating elements & switches at least 18 inches above the floor level (Re: Section 508 of the Uniform Mechanical Code).

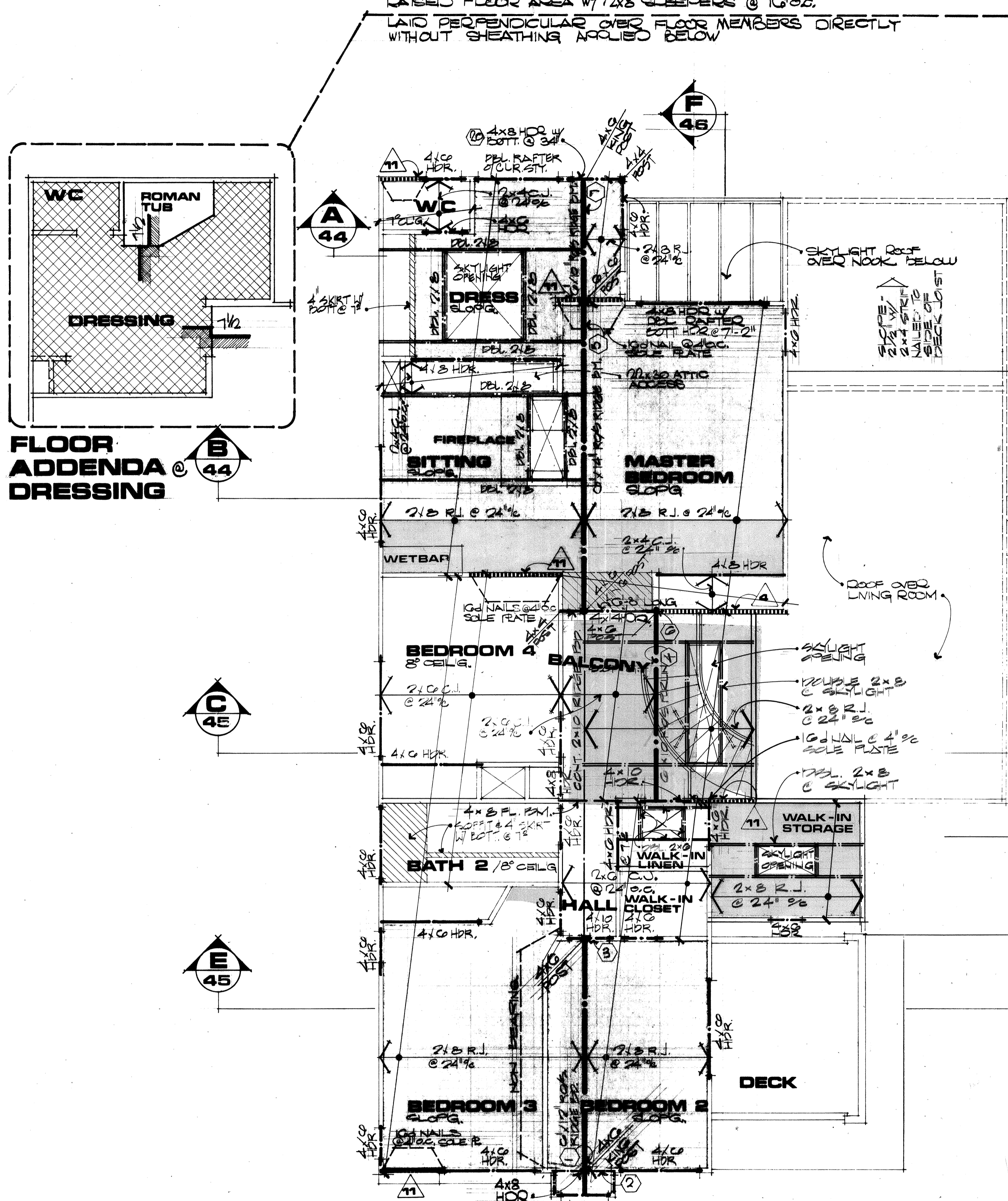
NOTE:
ALL LOW FLOW WATER FIXTURES PURSUANT TO STATE LAW. ALSO INCLUDE APPLIANCE EFFICIENCIES.



Note: Delete mechanical sprinkler systems @ all other locations other than Irvine Tract 9355.

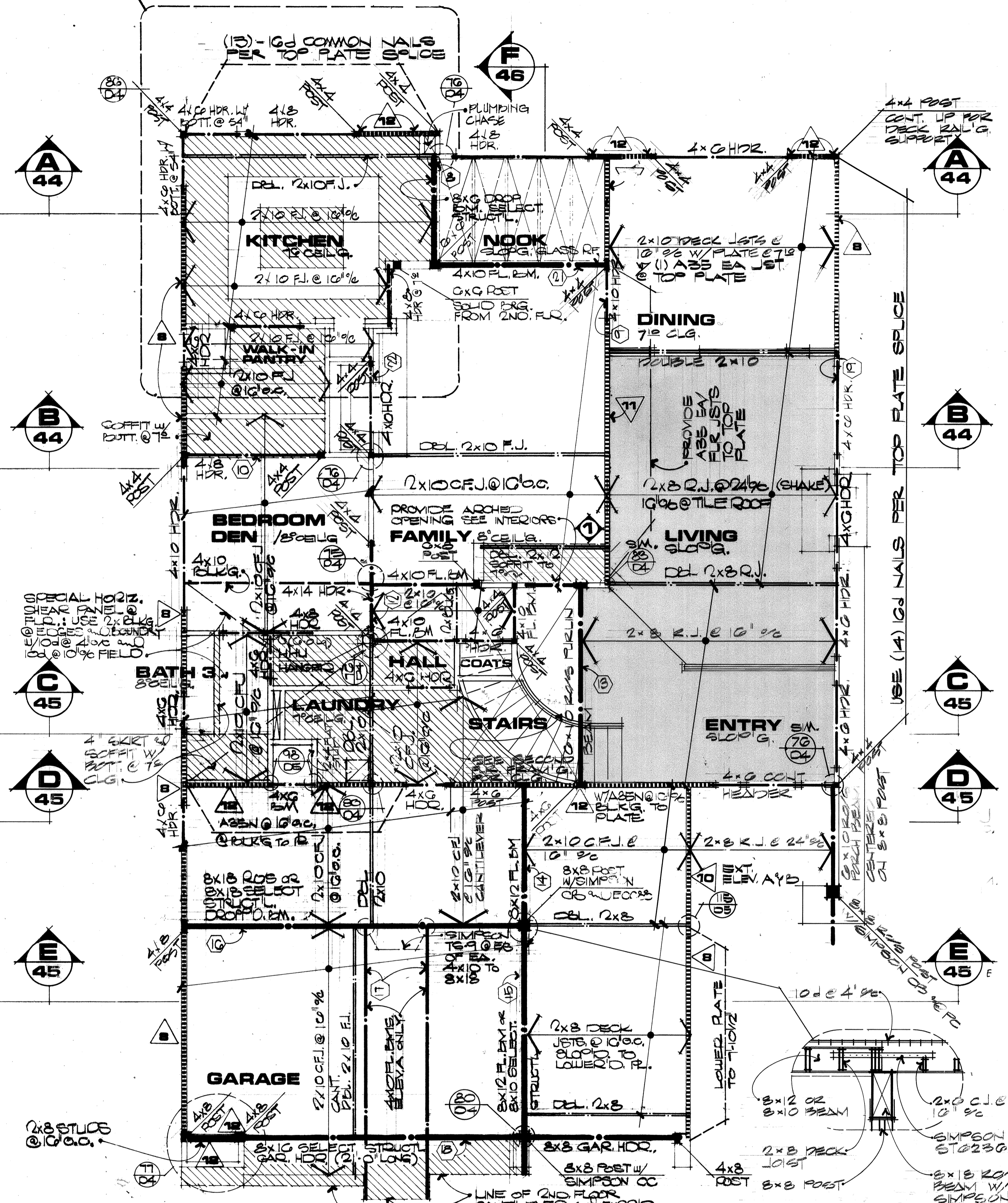
GARAGE

CR DESIGN
 2032 BUSINESS CENTER DRIVE
 SUITE 405, IRVINE, CA 92614
 DATE: 11/14/94
 DRAWN BY: [Signature]
 REVISIONS:
 CR DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
FOR CONSTRUCTION
 Canyon Creek
 SHEET NUMBER



SECOND FLOOR ROOF FRAMING PLAN

STRUCTURAL NOTES:	NOTES	SYMBOLS
<p>B 7/8" stucco over asper backed lath w/16 gauge staples at 6" o.c. at top & bottom plates, edge of shear wall and on field (ICBO Report No. 1823, Feb. 1977) 180 #/1</p> <p>10 3/8" Structural II Plywood with 8d nails @ 6" o.c. at edges & 12" o.c. field (Table 25K UBC) 260 #/1</p> <p>3/8" Structural II Plywood with 8d nails @ 4" o.c. at edges & 12" o.c. field (Table 25K UBC) 380 #/1</p> <p>1E 3/8" Structural II Plywood with 8d nails @ 24" o.c. at edges & 12" o.c. field (Table 25K UBC) 570 #/1</p>	<p>1. All "T&G" Plywood to be glued to floor member & applied w/ring shank nails or screws (approved by Meister Co.) within 6 hrs. of application.</p> <p>2. All "T&G" Plywood to be blocked @ all butt edges.</p> <p>3. All 2x joists, or rafters to be No. 2 grade WCDF.</p> <p>4. All 4x & greater beams and headers to be No. 1.</p> <p>5. See General Notes sheet No. 01 for Nail Schedule, & all other carpentry requirements.</p> <p>Studs at exterior wall with sloping ceilings shall extend from floor to roof without intermediate plates unless plates are designed. Maximum heights: (1)2x4-14ft. (2)2x4-18ft. (3)2x4-18ft. (4)2x6-20ft.</p>	<p> Sloping Ceiling</p> <p> Furred Soffit</p> <p> Built-up floor</p> <p> Shear Panel</p> <p> Structural calc Beam Reference</p>



FIRST FLOOR ROOF SECOND FLOOR FRAMING PLAN

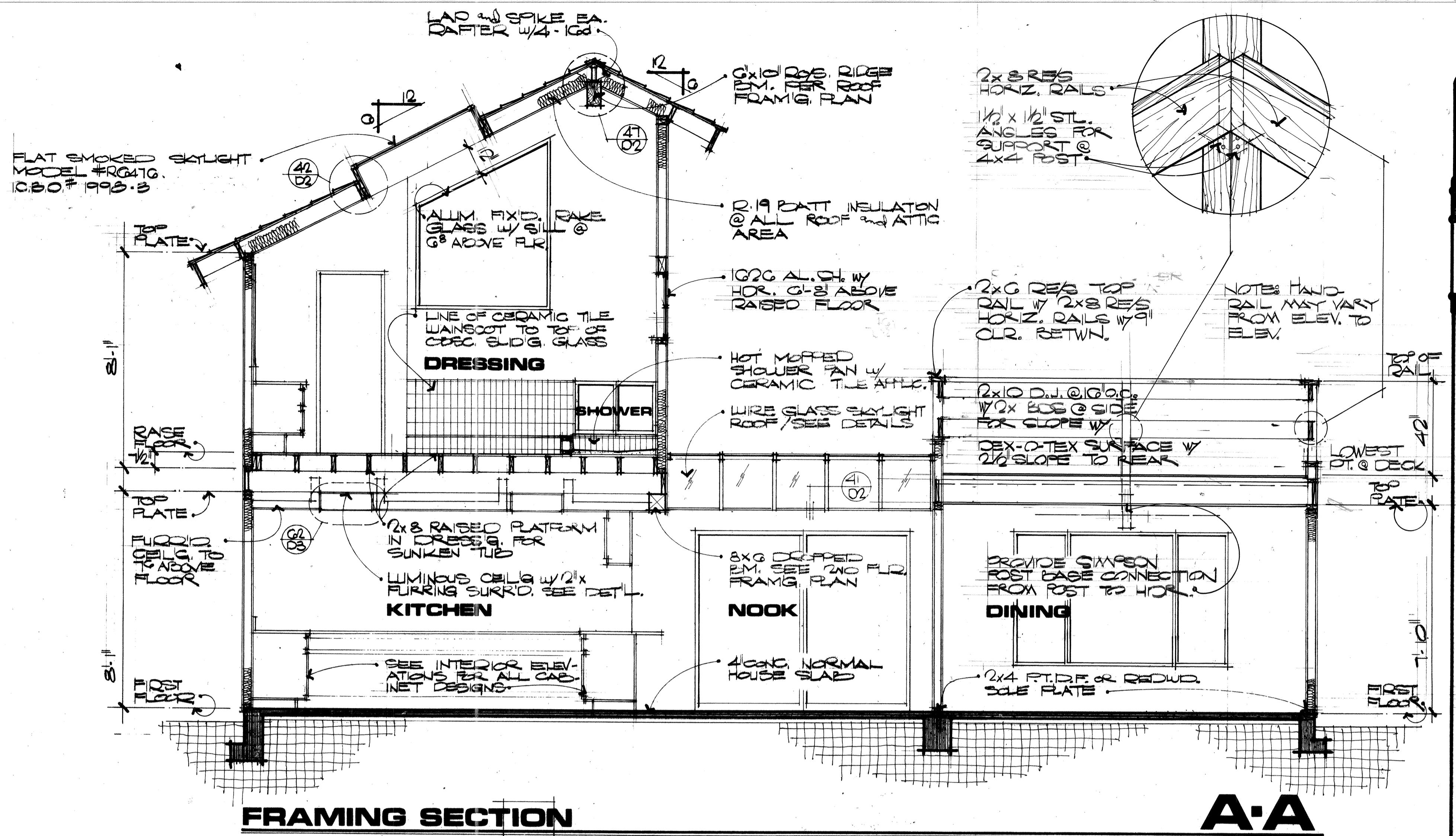
Note: This framing plan has been drawn to match the exterior elevation "A". The contractor should see the elevation addendas for elevations "B & C" for design changes that may occur. All structural notes and information reflected on basic plan shall apply to all elevations unless noted otherwise.

SCALE: 1/4" = 1'-0"

CR DESIGN
 2025 BUSINESS CENTER DRIVE
 SUITE 205
 (714) 722-0217
 CR DESIGN RESERVES THE COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
FOR CONSTRUCTION

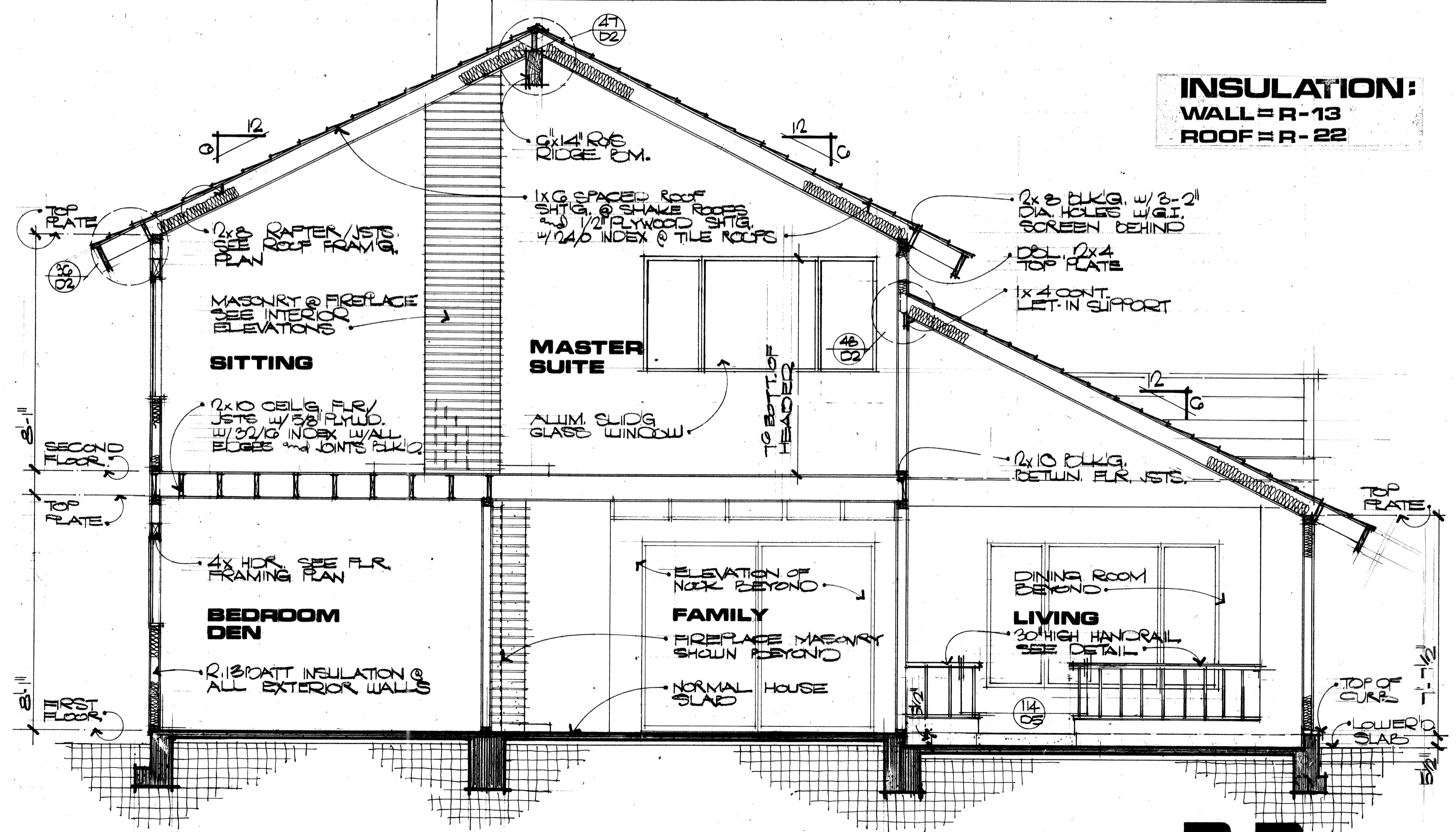
DATE NUMBER: 10/20/20
 DRAWN BY: N/A
 REVISIONS: 0

SHEET NUMBER



FRAMING SECTION

A-A

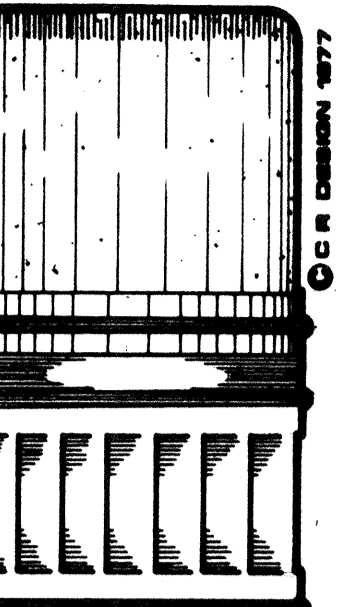


FRAMING SECTION

B-B

SCALE: 3/8"=1'-0"

INSULATION:
WALL = R-13
ROOF = R-22

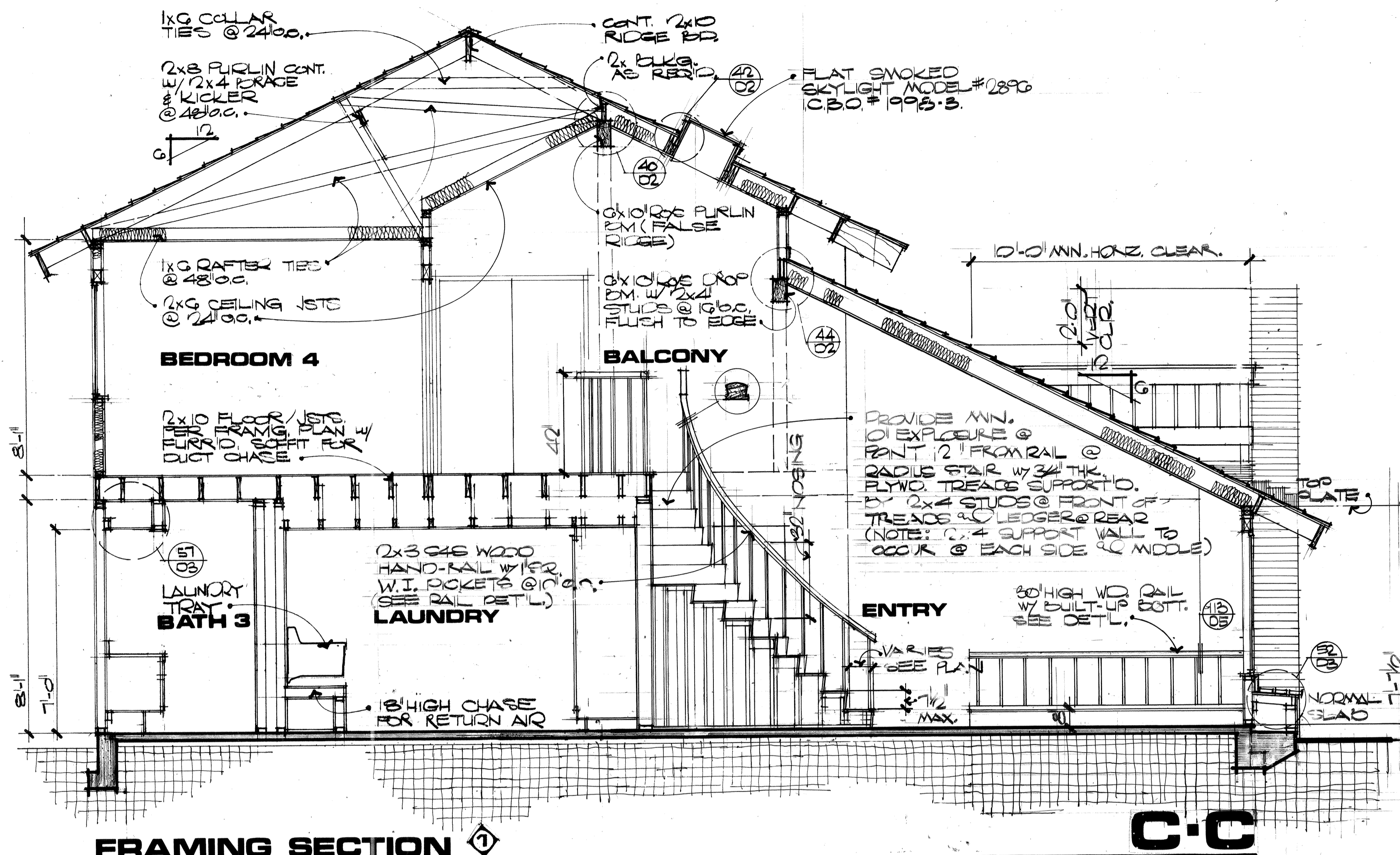


CR DESIGN
2082 BUSINESS CENTER DRIVE
SUITE 200
LITTLE ROCK, AR 72114
(501) 261-7075

FOR CONSTRUCTION

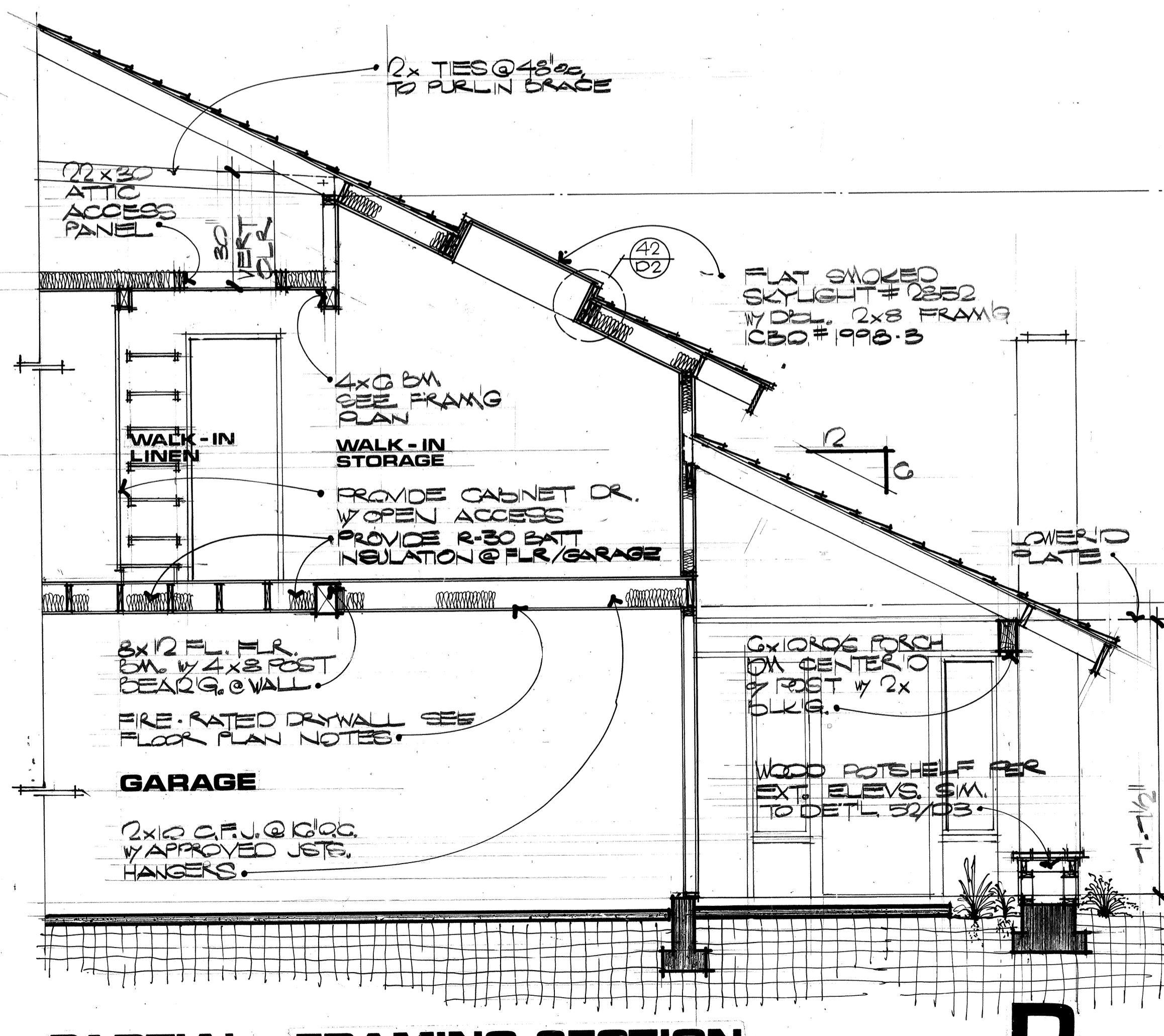
Canyon Creek

SHEET NUMBER

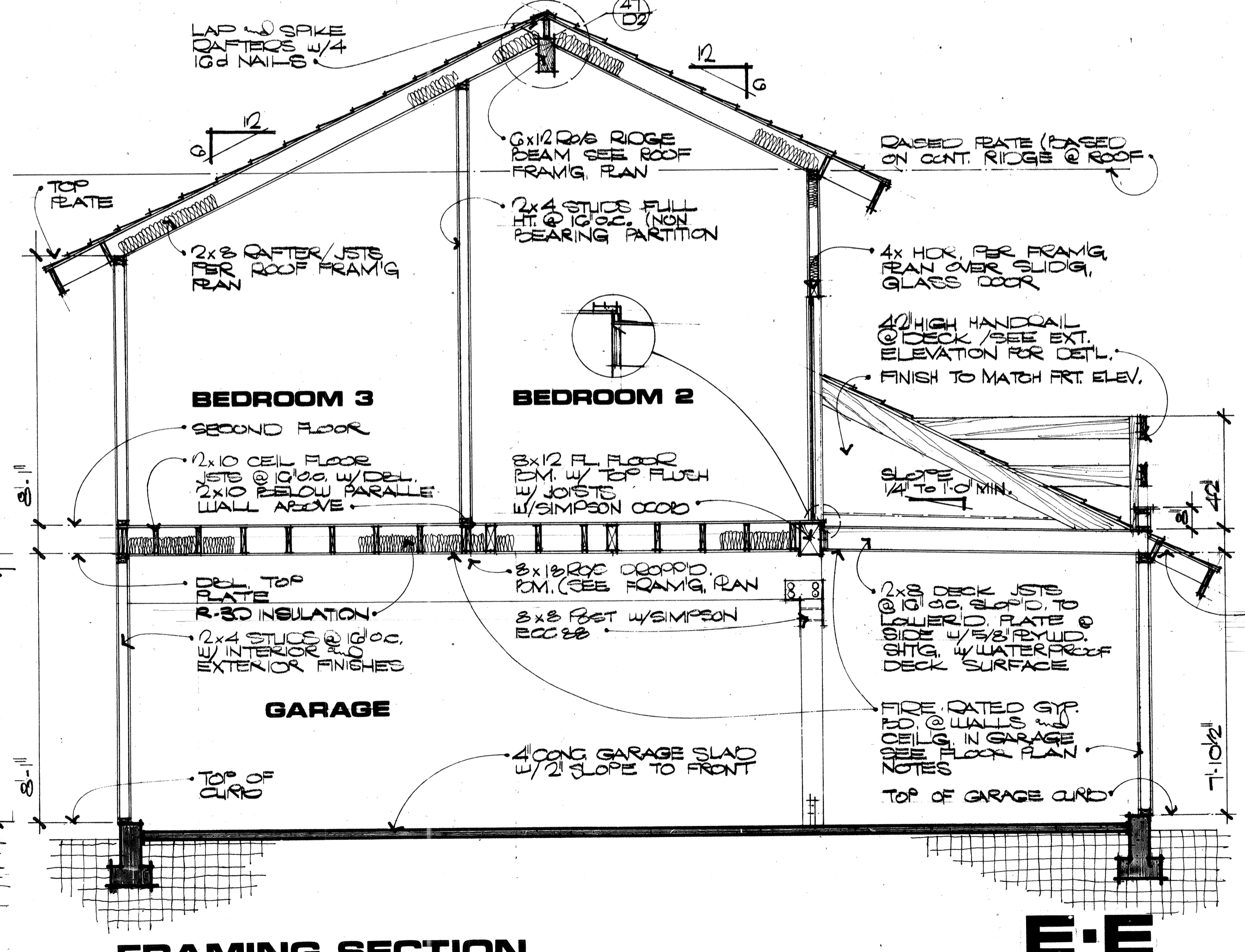


FRAMING SECTION C-C

C-C



PARTIAL FRAMING SECTION D



FRAMING SECTION E-E

E-E

INSULATION:
WALL = R-13
ROOF = R-19

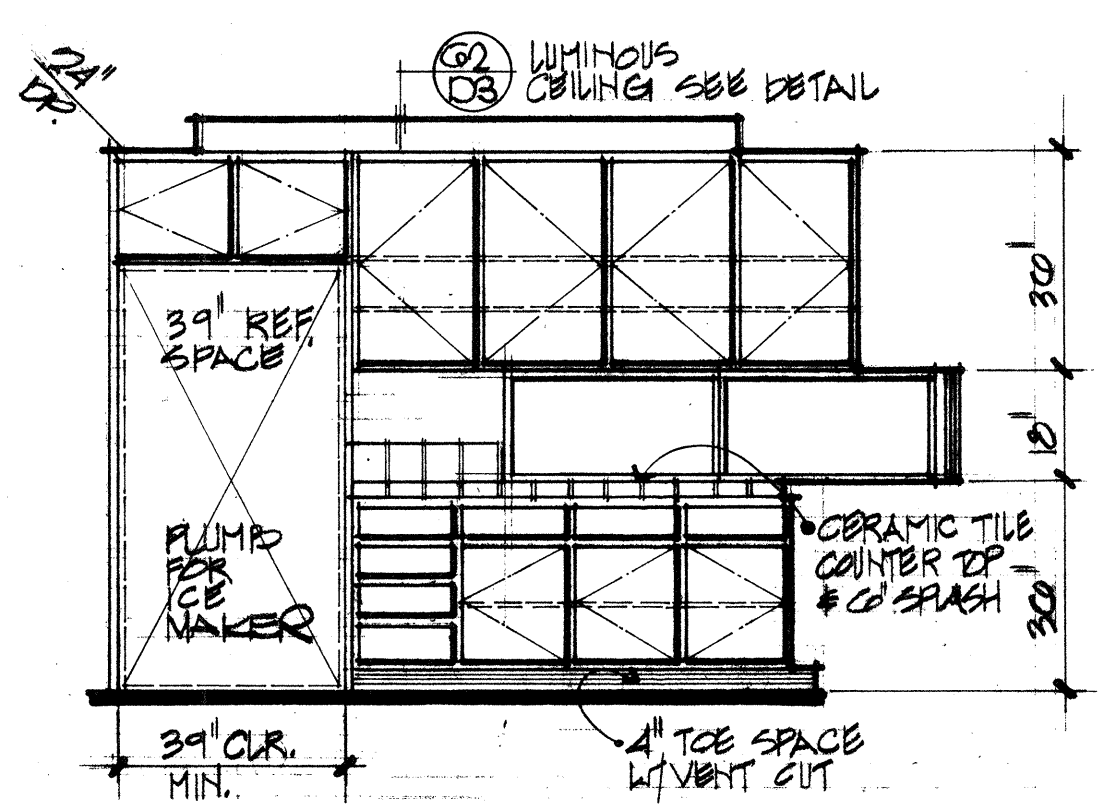
FRAM'G SECT'NS PLAN **522**

45

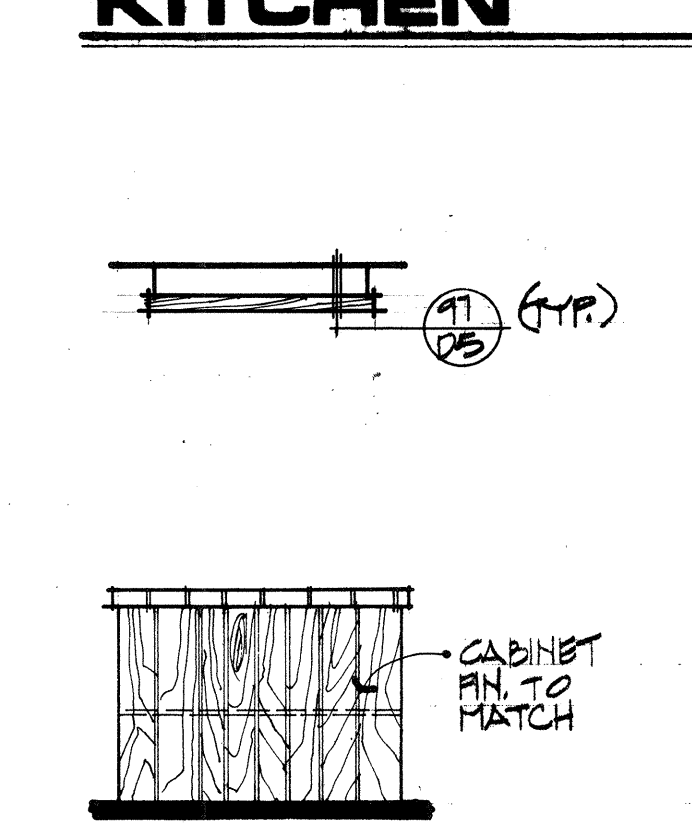
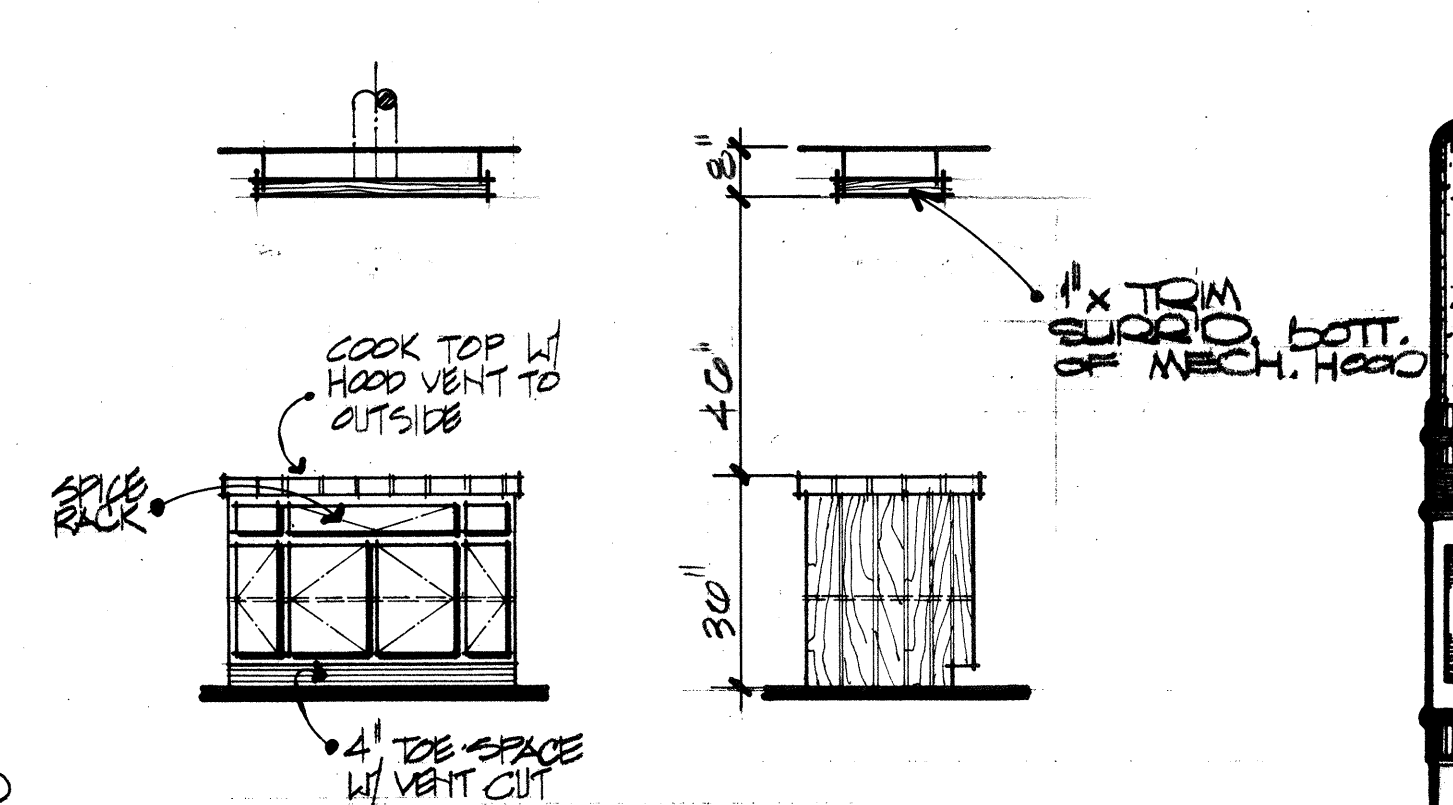
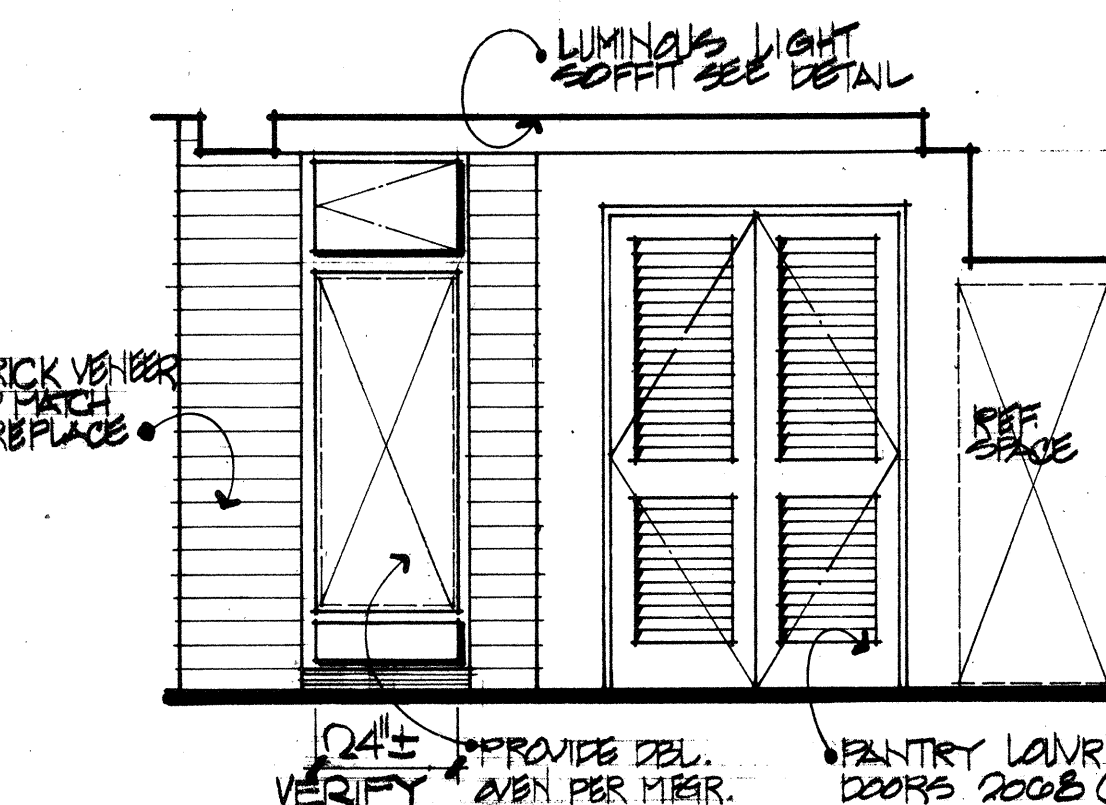
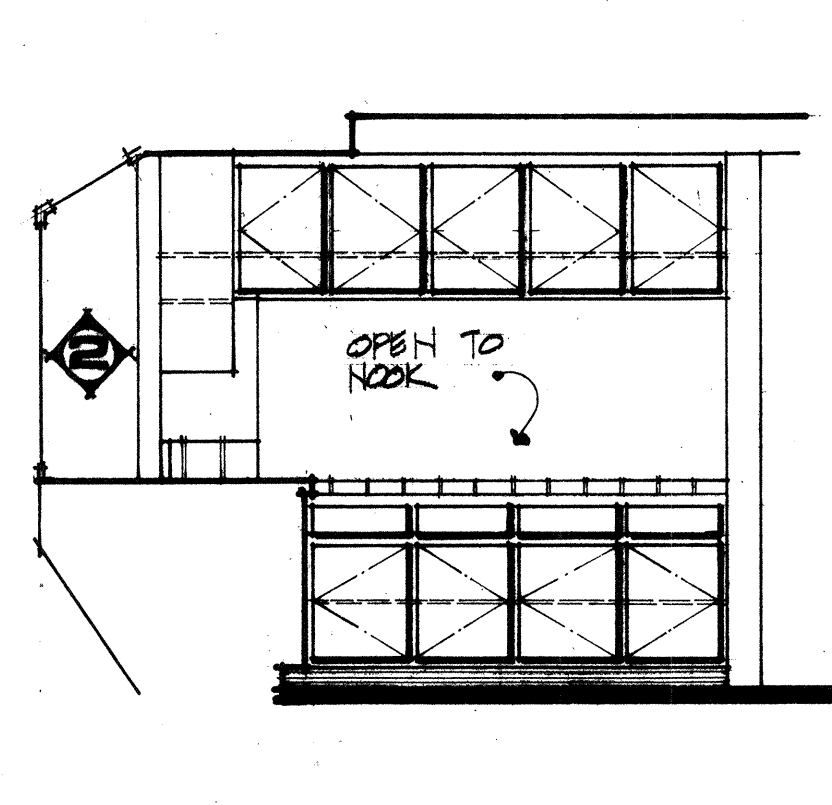
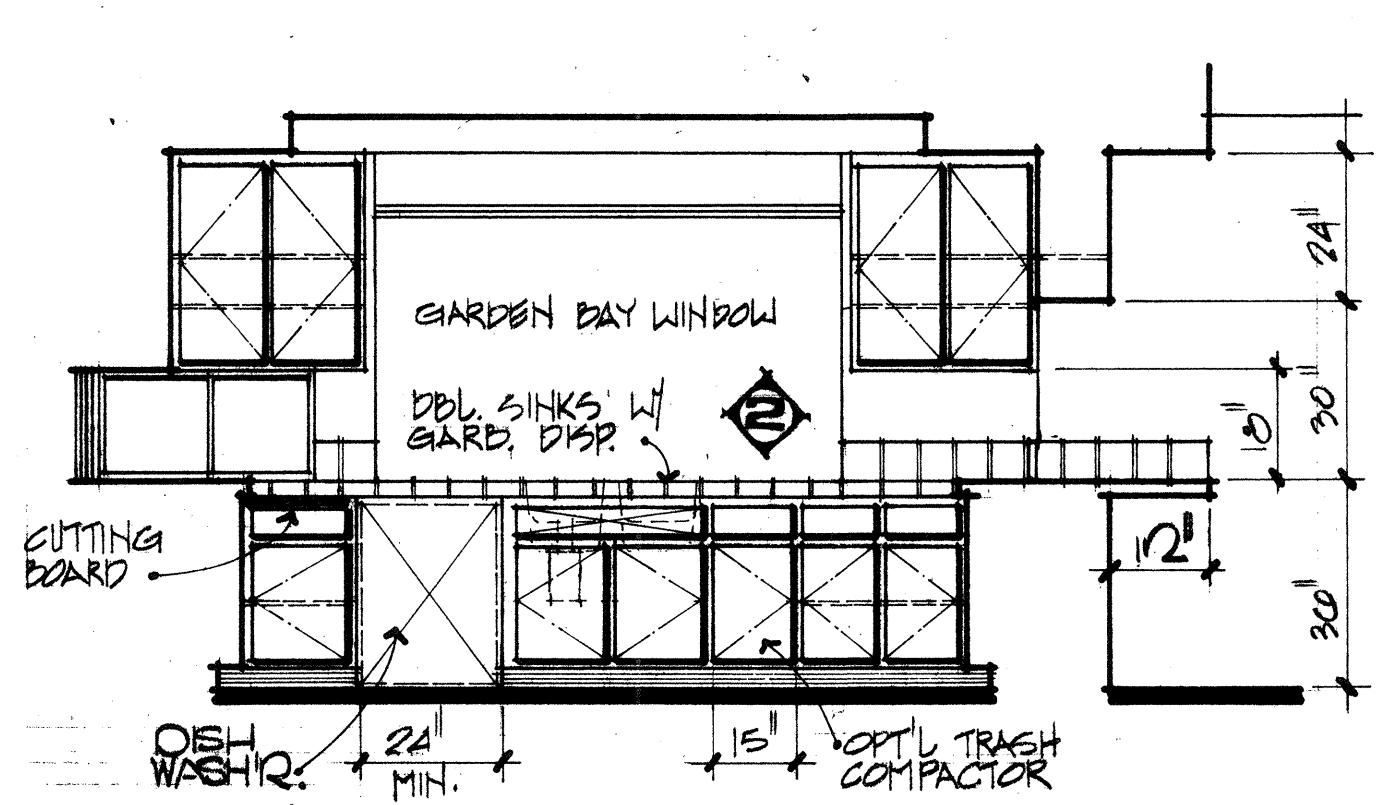
CR DESIGN
 2022 BUSINESS CENTER DRIVE
 IRVINE, CALIFORNIA 92614
 PHONE 949.440.8877

FOR CONSTRUCTION
 DATE: _____
 JOB NUMBER: _____
 DRAWN BY: _____
 DESIGNER: _____

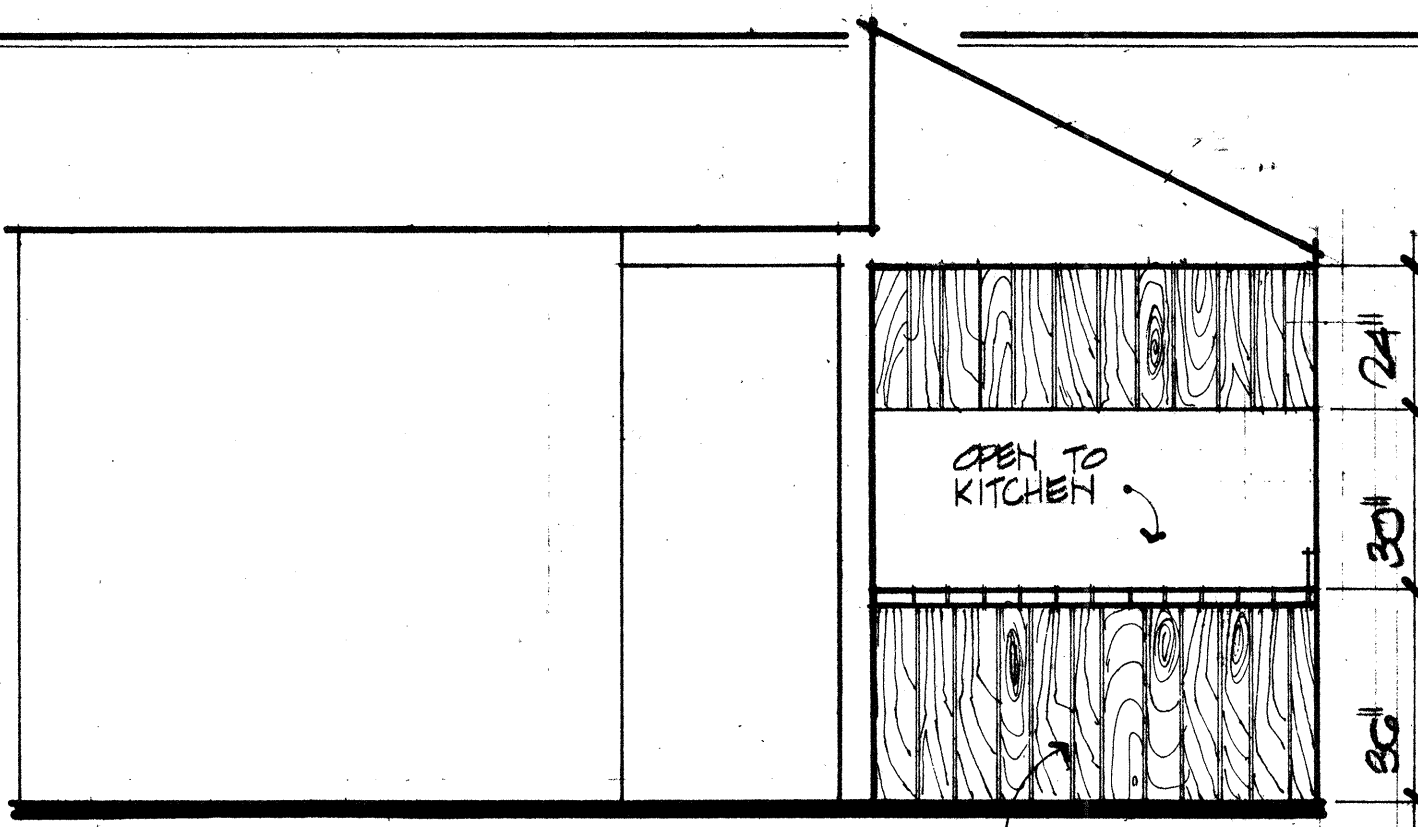
CR DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
 SHEET NUMBER



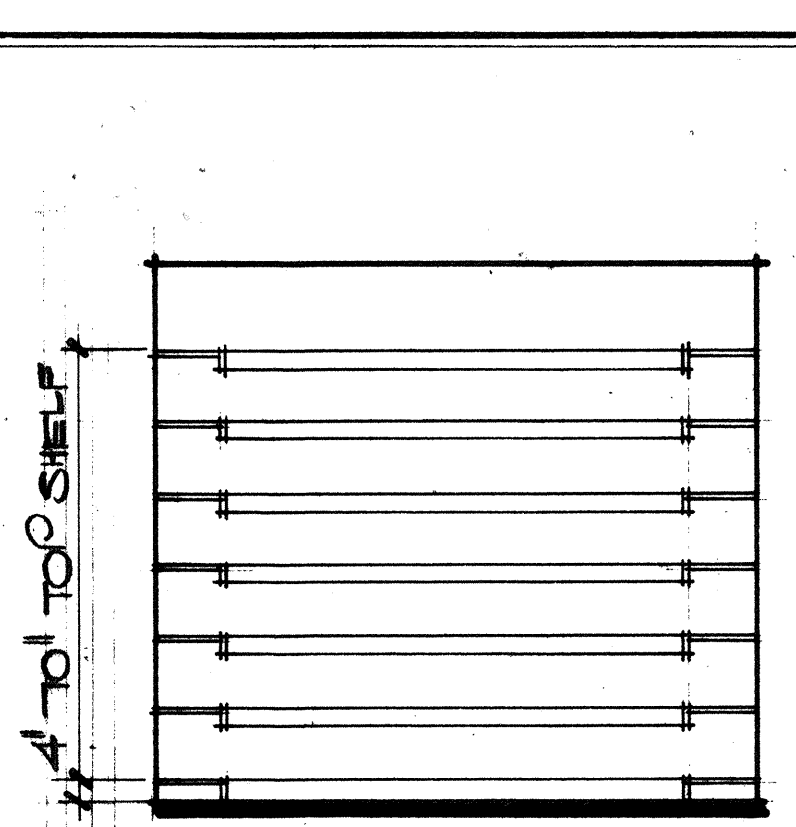
KITCHEN



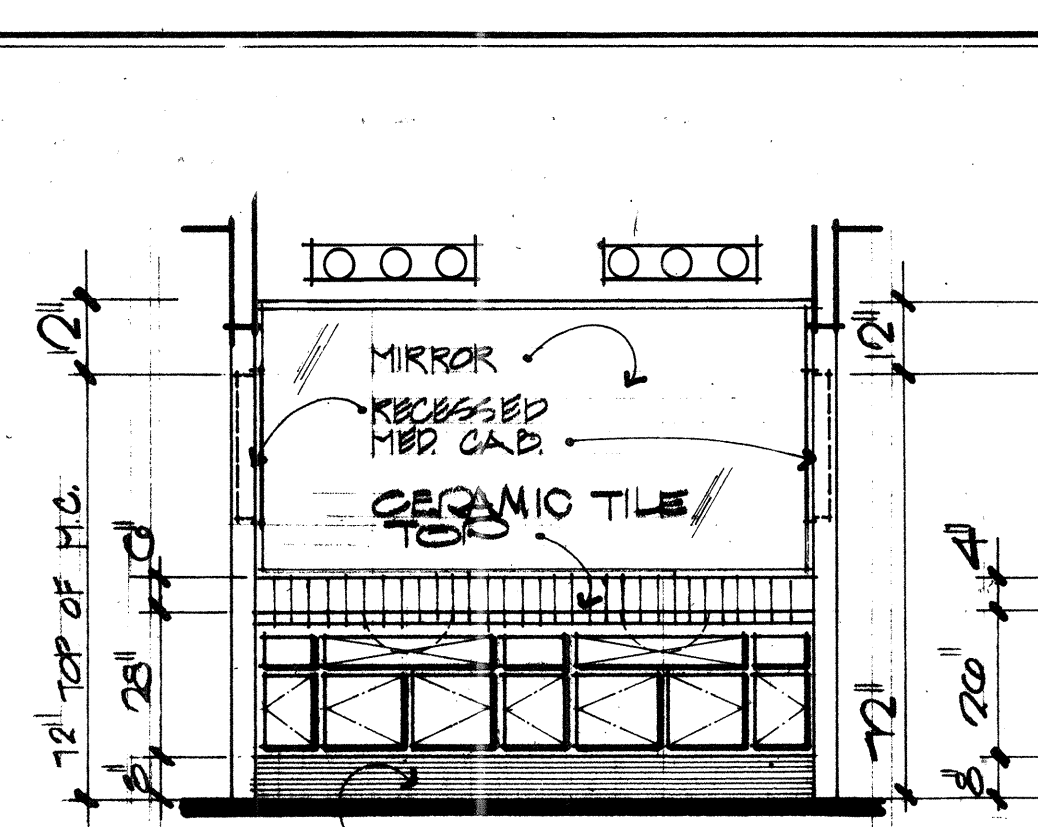
KITCHEN



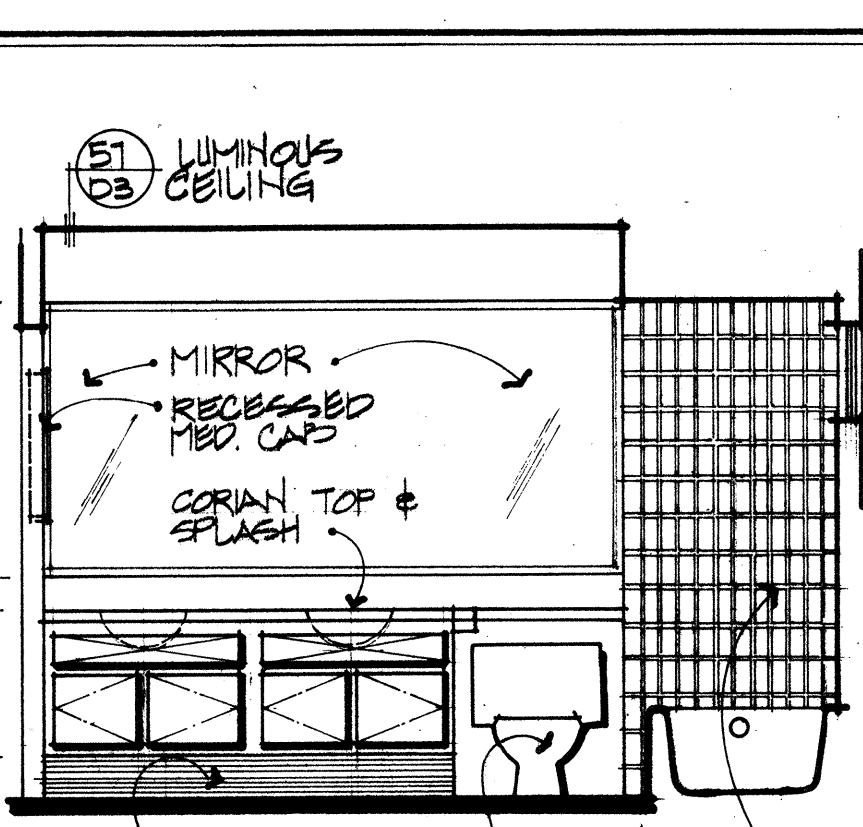
BAR NOOK



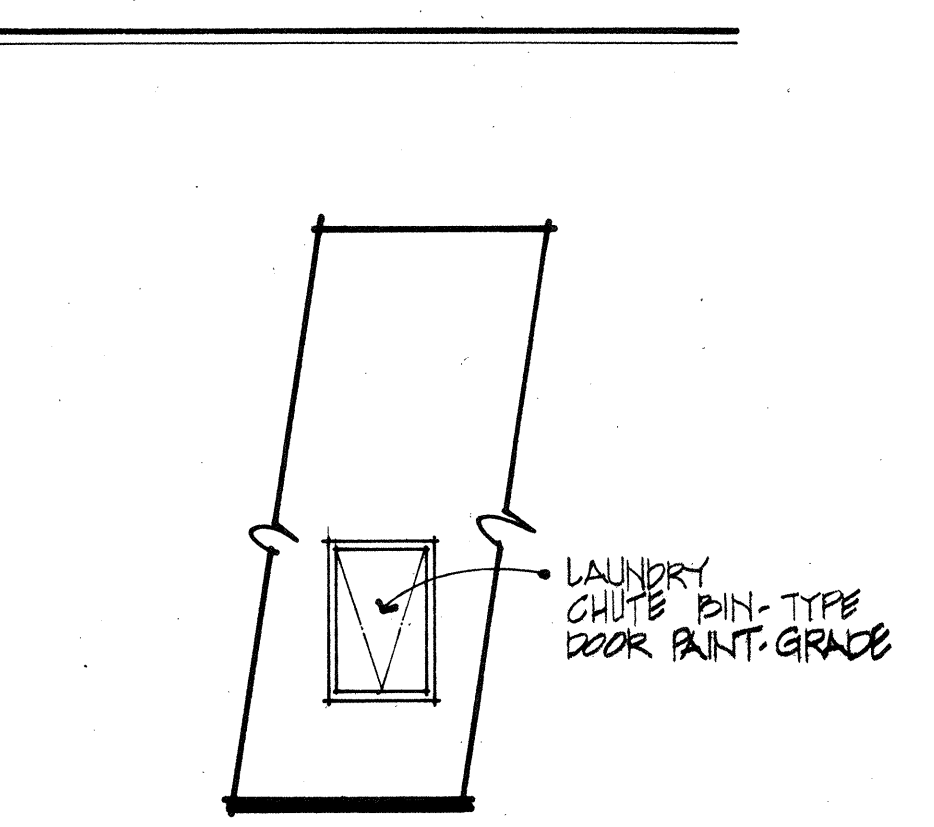
PANTRY



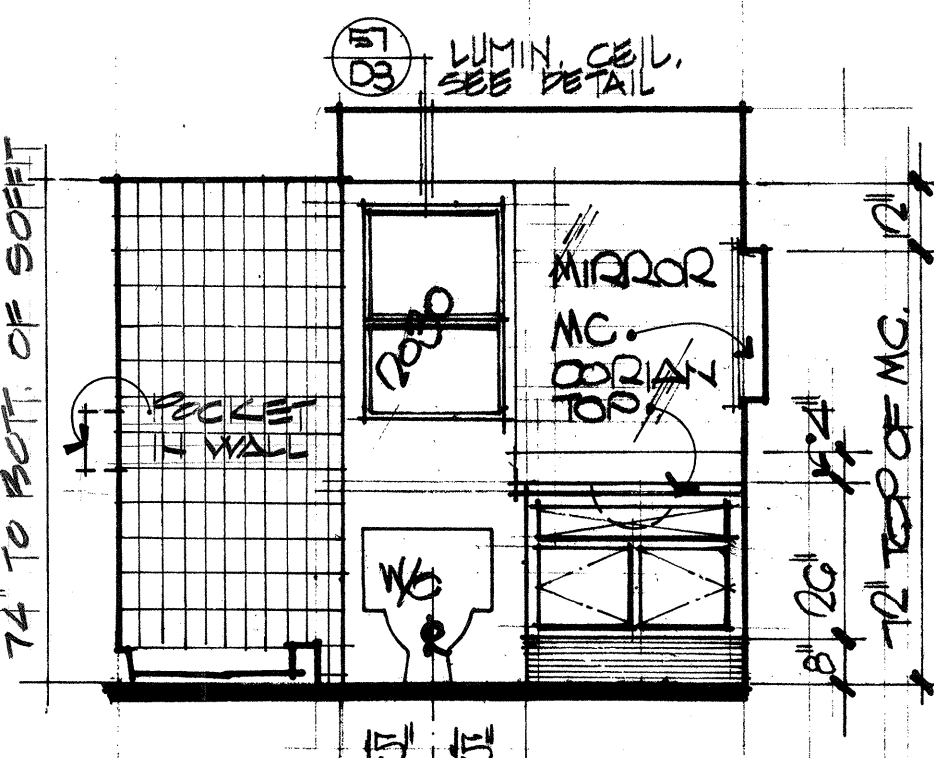
DRESSING



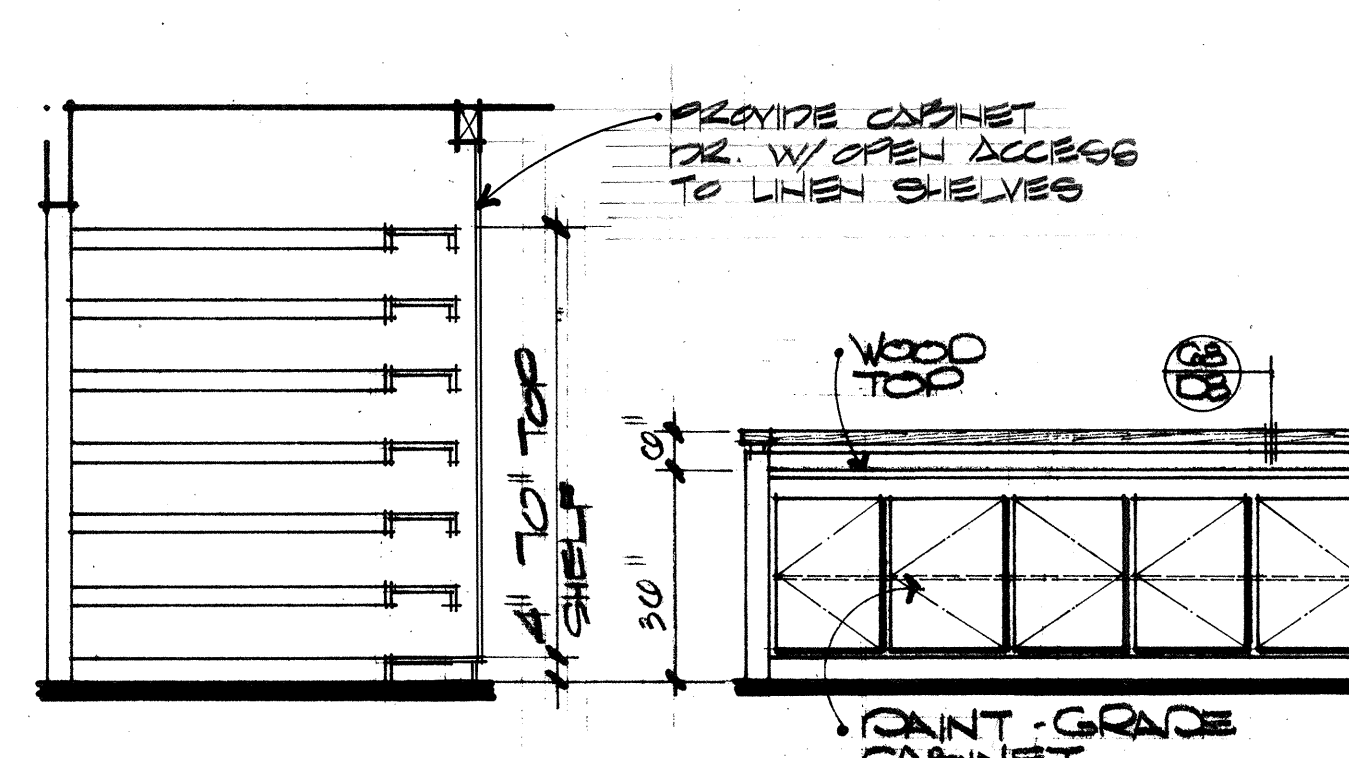
BATH 2



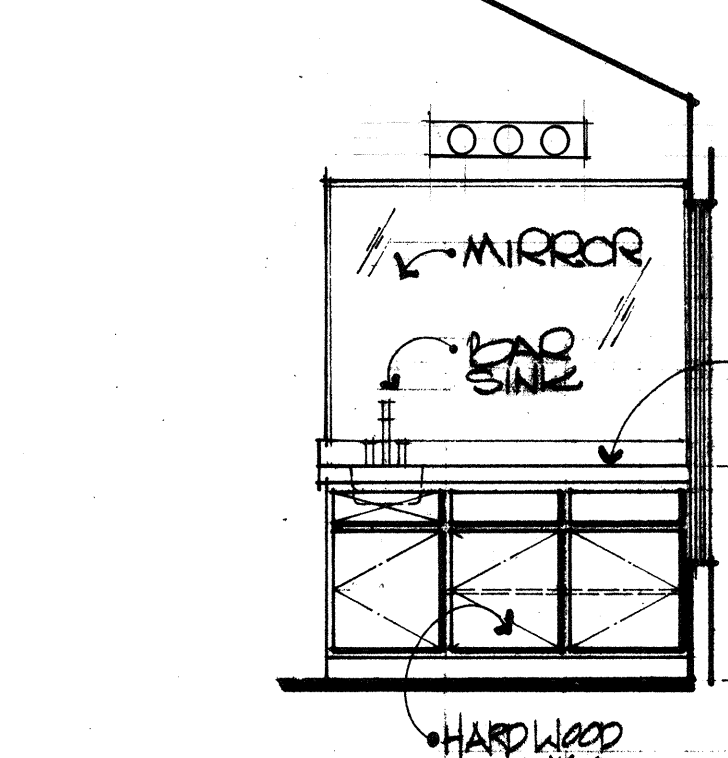
LAUNDRY CHUTE



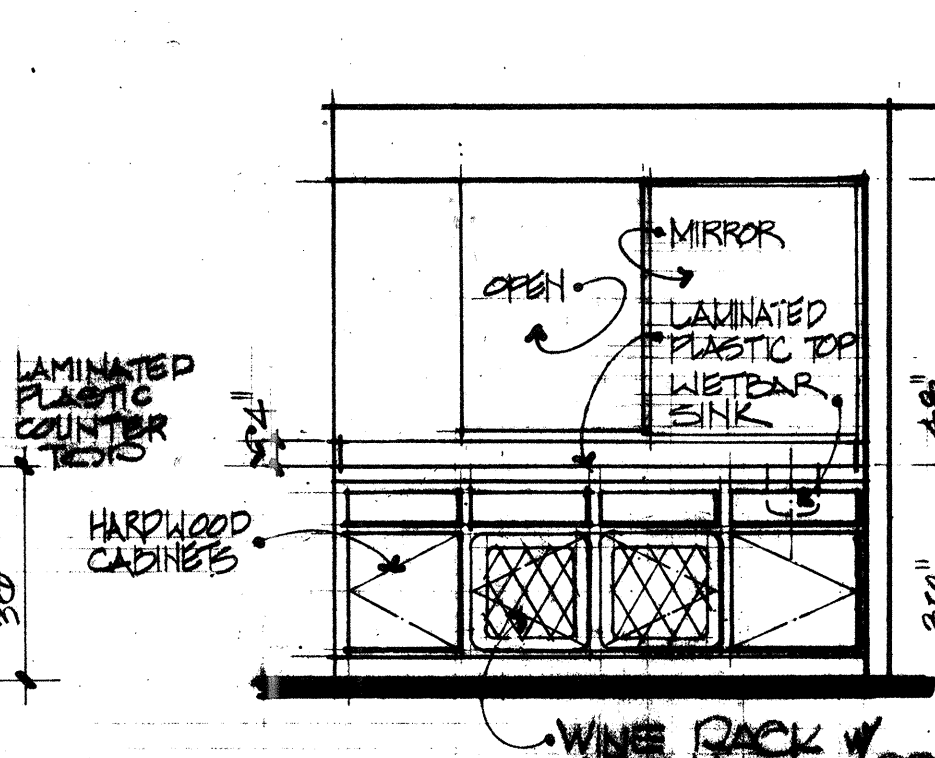
BATH 3



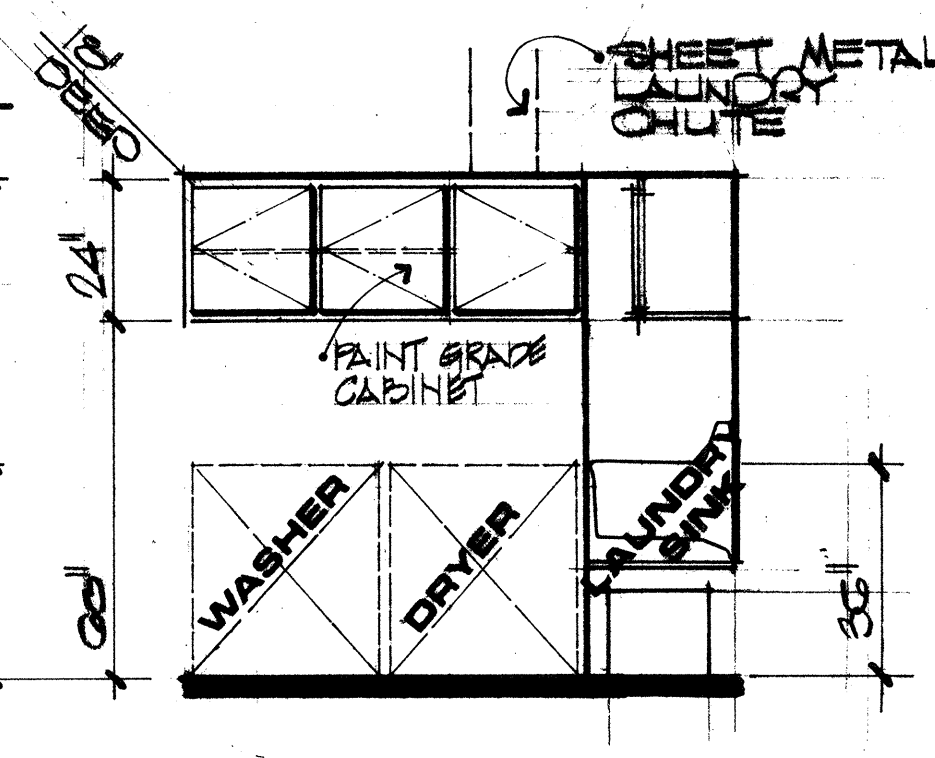
WALK-IN LINEN



LINEN BALCONY



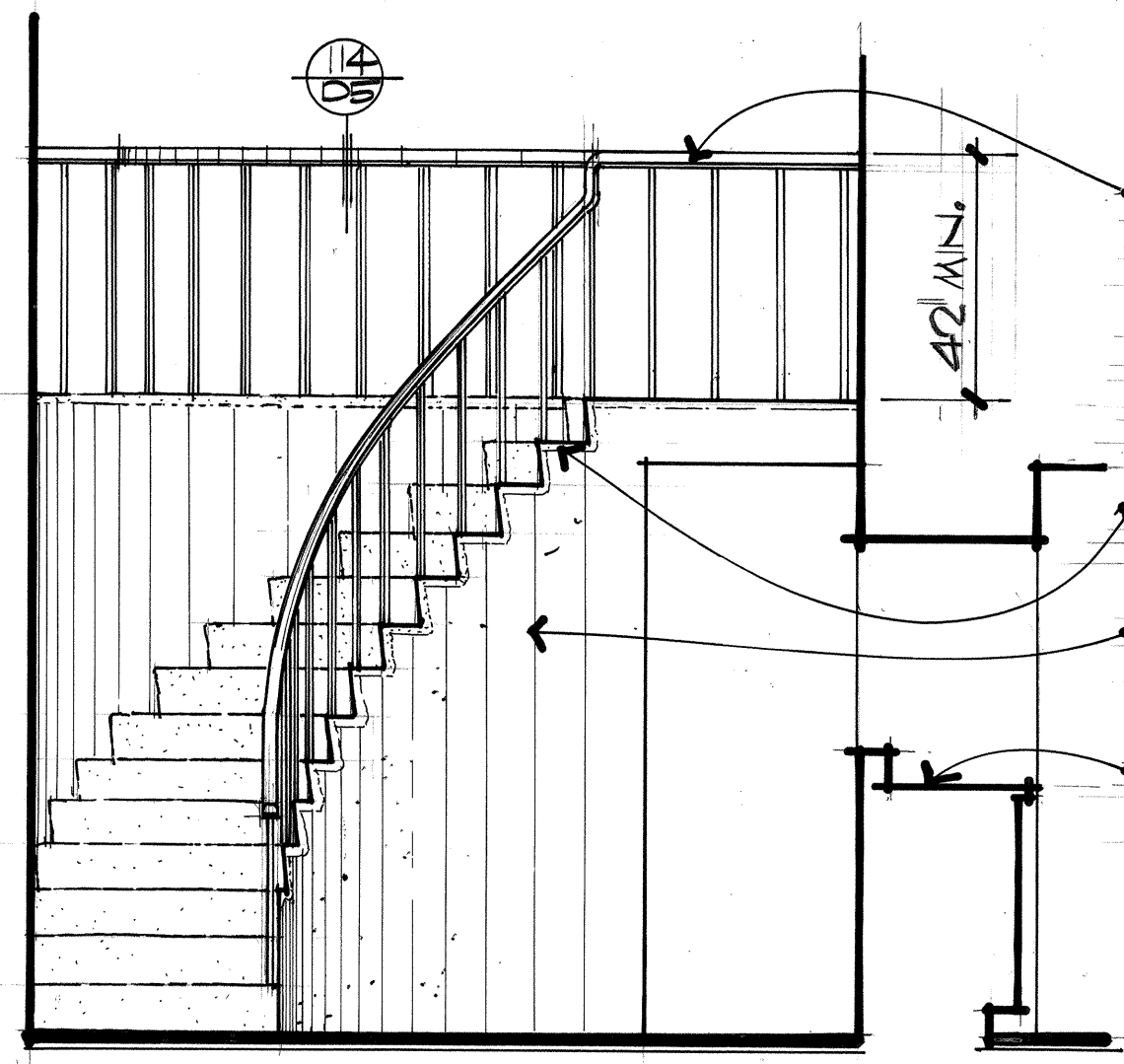
WET BAR SITTING



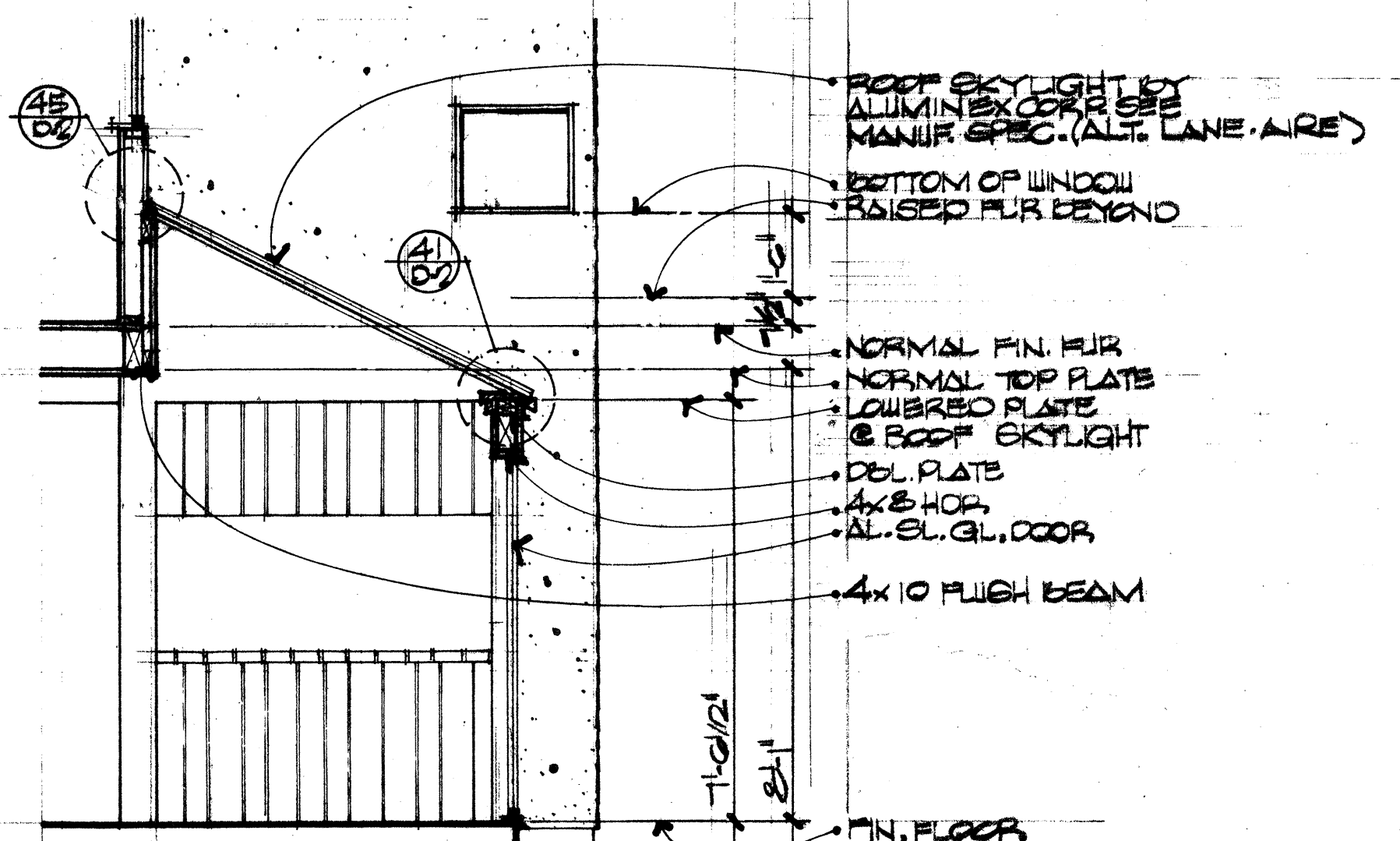
WET BAR FAMILY



SERVICE



STAIR ELEVATION ENTRY



SECTION F

FIREPLACE

FIREPLACE

FIREPLACE

CR DESIGN
 1000 BUENAVISTA CENTER DRIVE
 SUITE 245 UTAH 84103
 (801) 488-2017

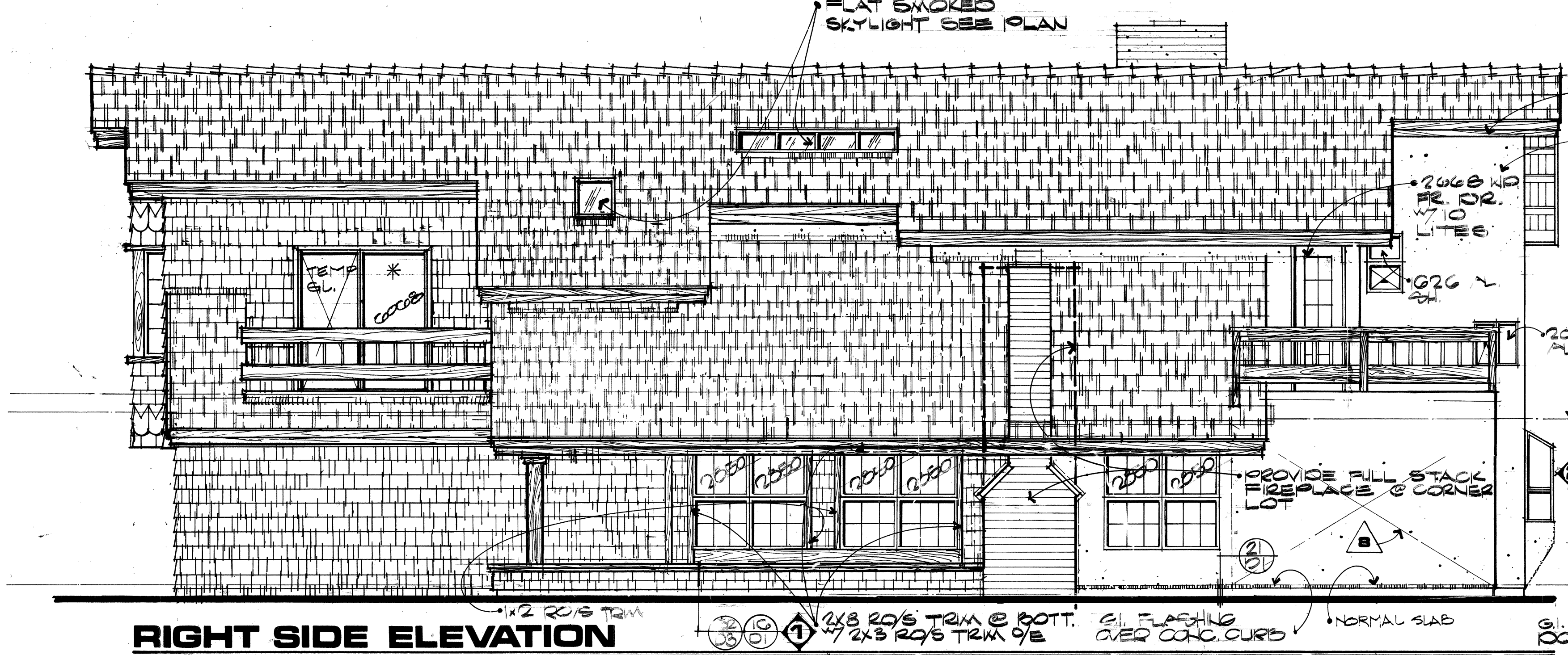
FOR CONSTRUCTION

DATE: 10/20/04
 JOB NUMBER: 100204
 DRAWN BY: JLE
 REVISIONS:

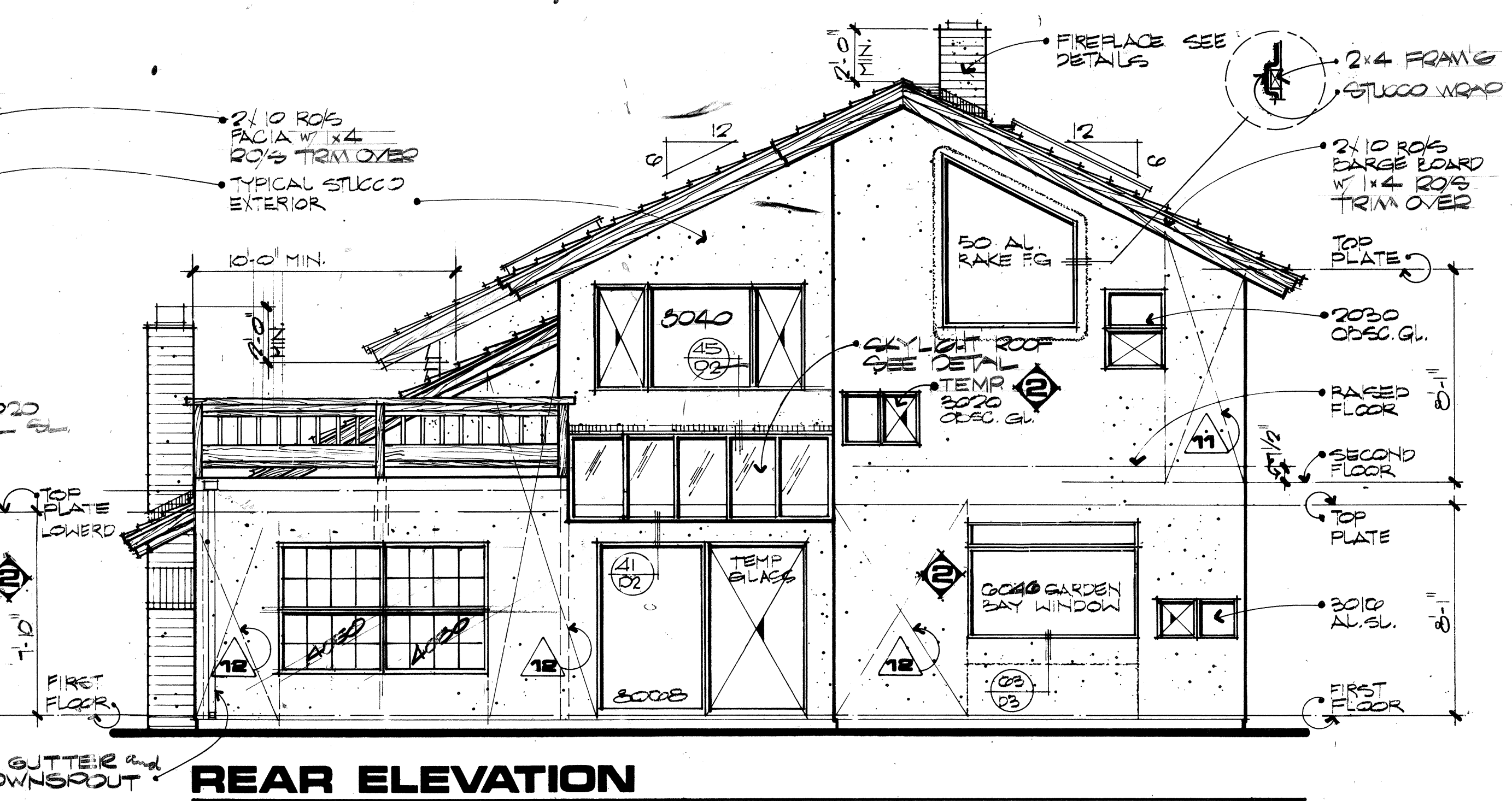
CR DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.

Carver Creek

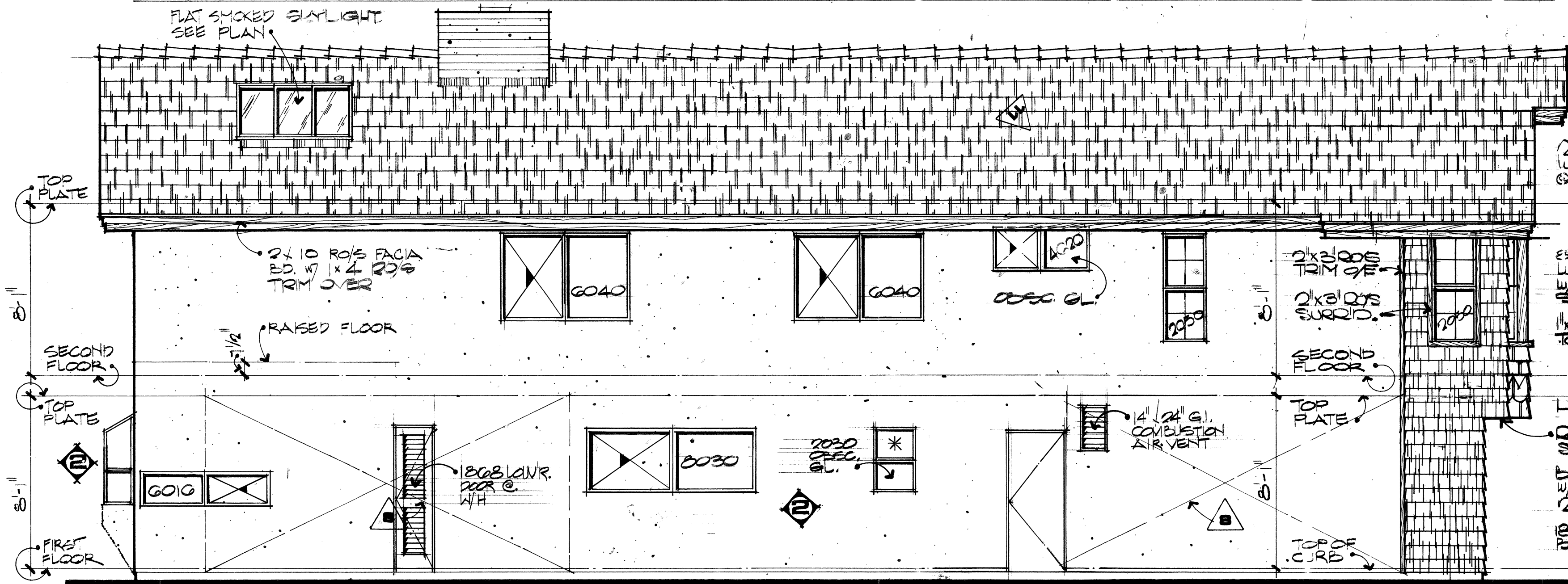
SHEET NUMBER



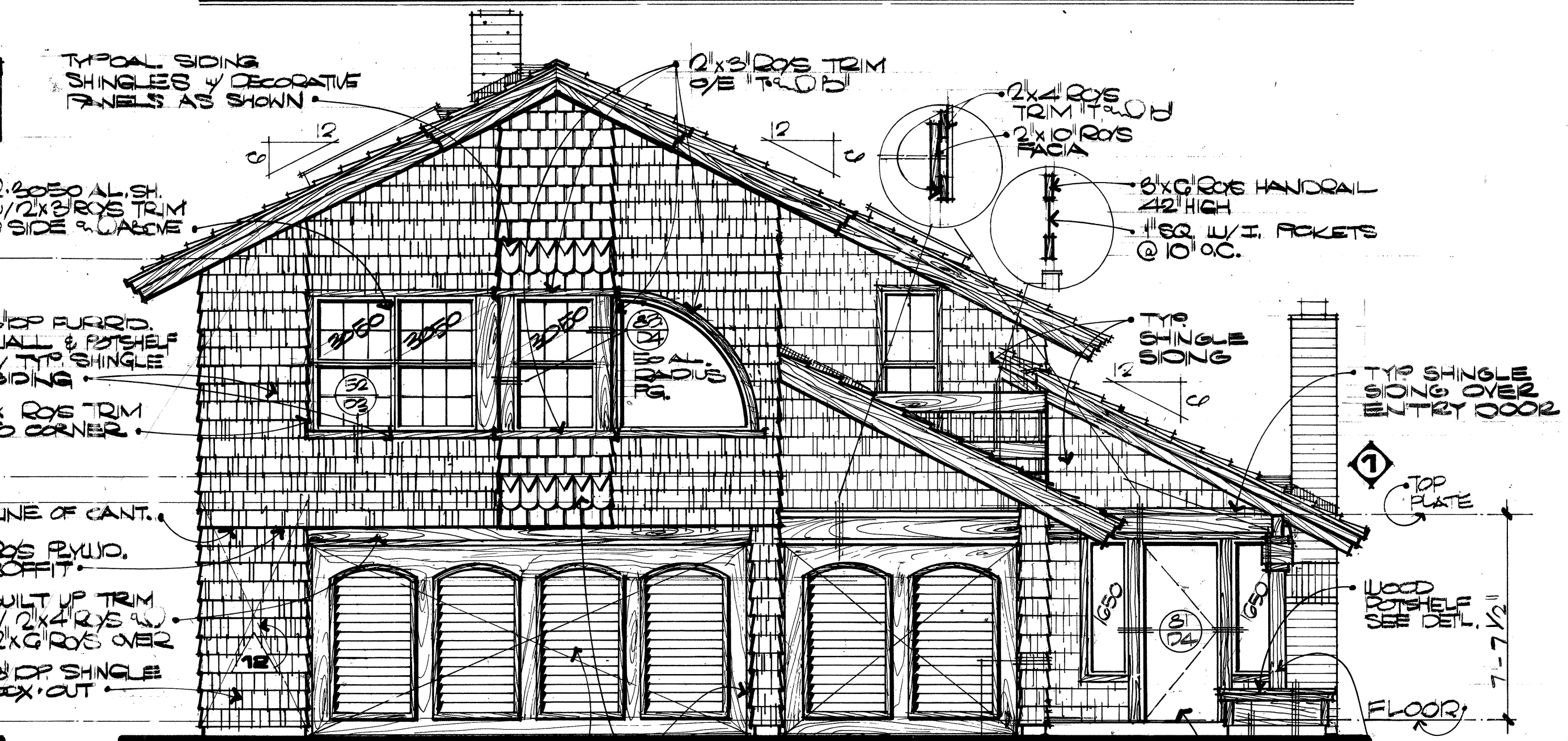
RIGHT SIDE ELEVATION



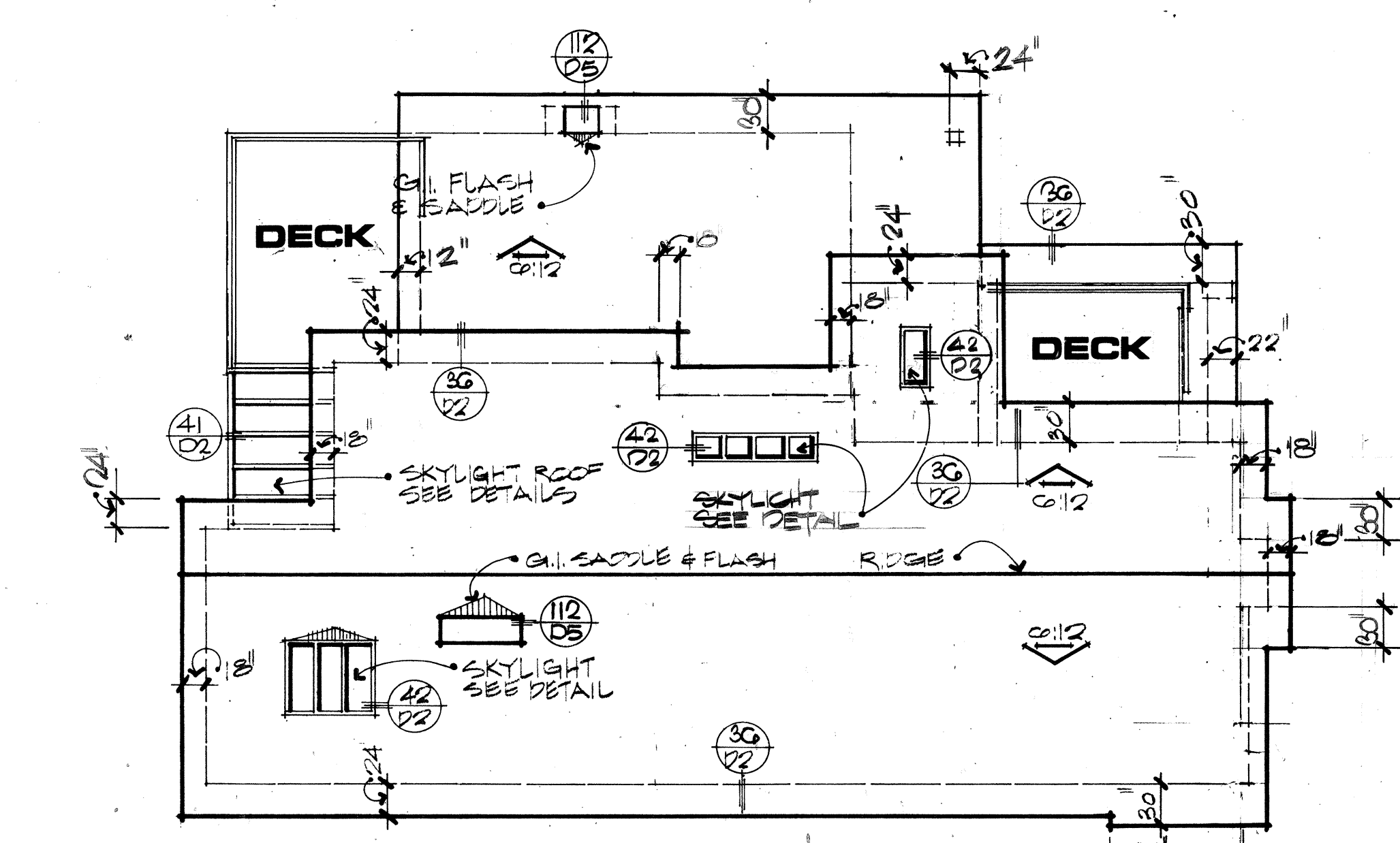
REAR ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



ROOF PLAN

SCALE: 1/8" = 1'-0"

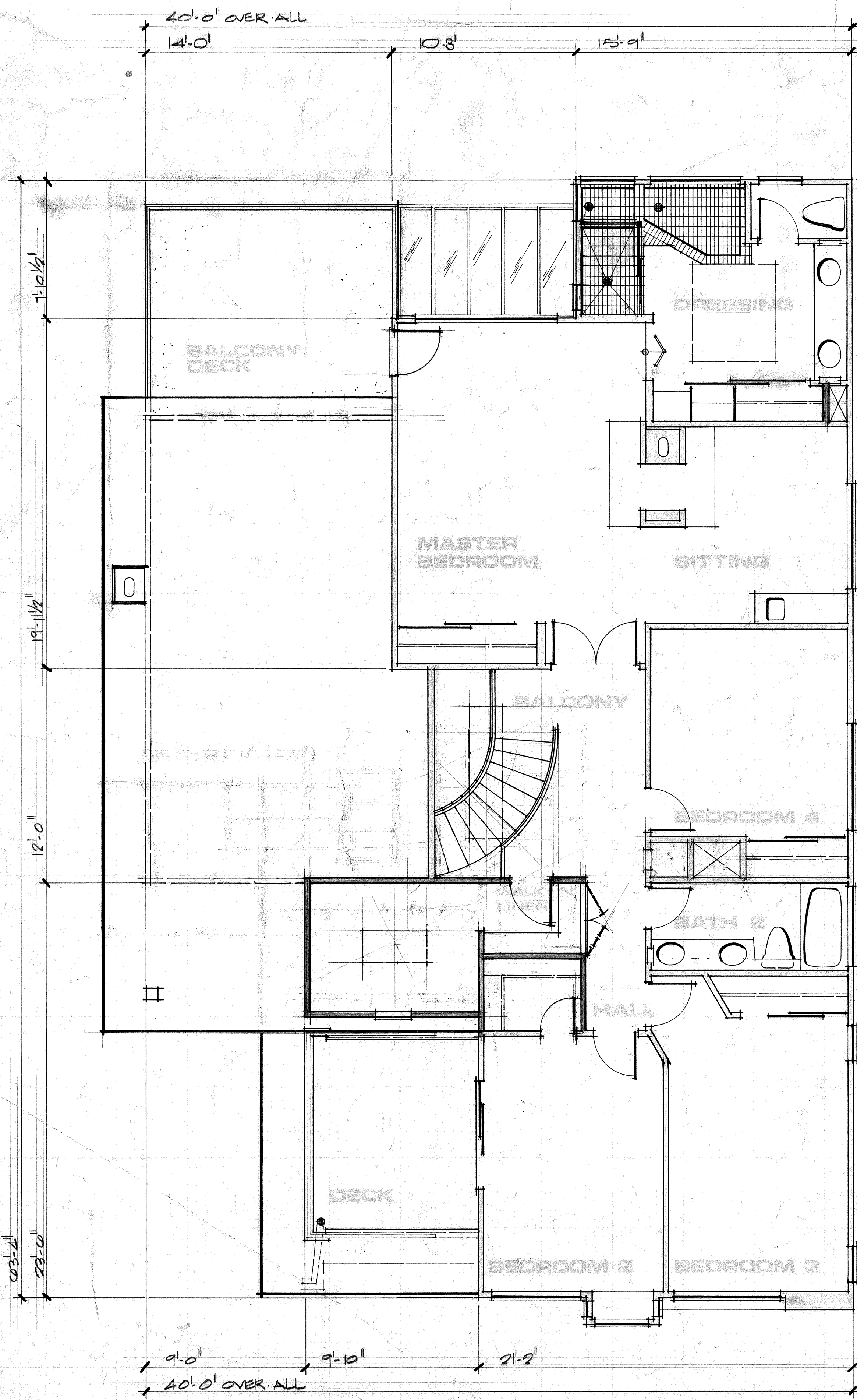
STRUCTURAL NOTES:

- 7/8" stucco over paper backed lath w/16 gauge staples at 6" o.c. at top & bottom plates, edge of shear wall and on field (ICBO Report No. 1823, May 1972) or (ICBO Report No. 1318, Feb. 1973) 180H/1
- 3/8" Structural II Plywood with 8d nails @ 4" o.c. at edges & 12" o.c. field (Table 25M UBC) 380H/1
- 3/8" Structural II Plywood with 8d nails @ 2 1/2" o.c. at edges & 12" o.c. field (Table 25M UBC) 570H/1

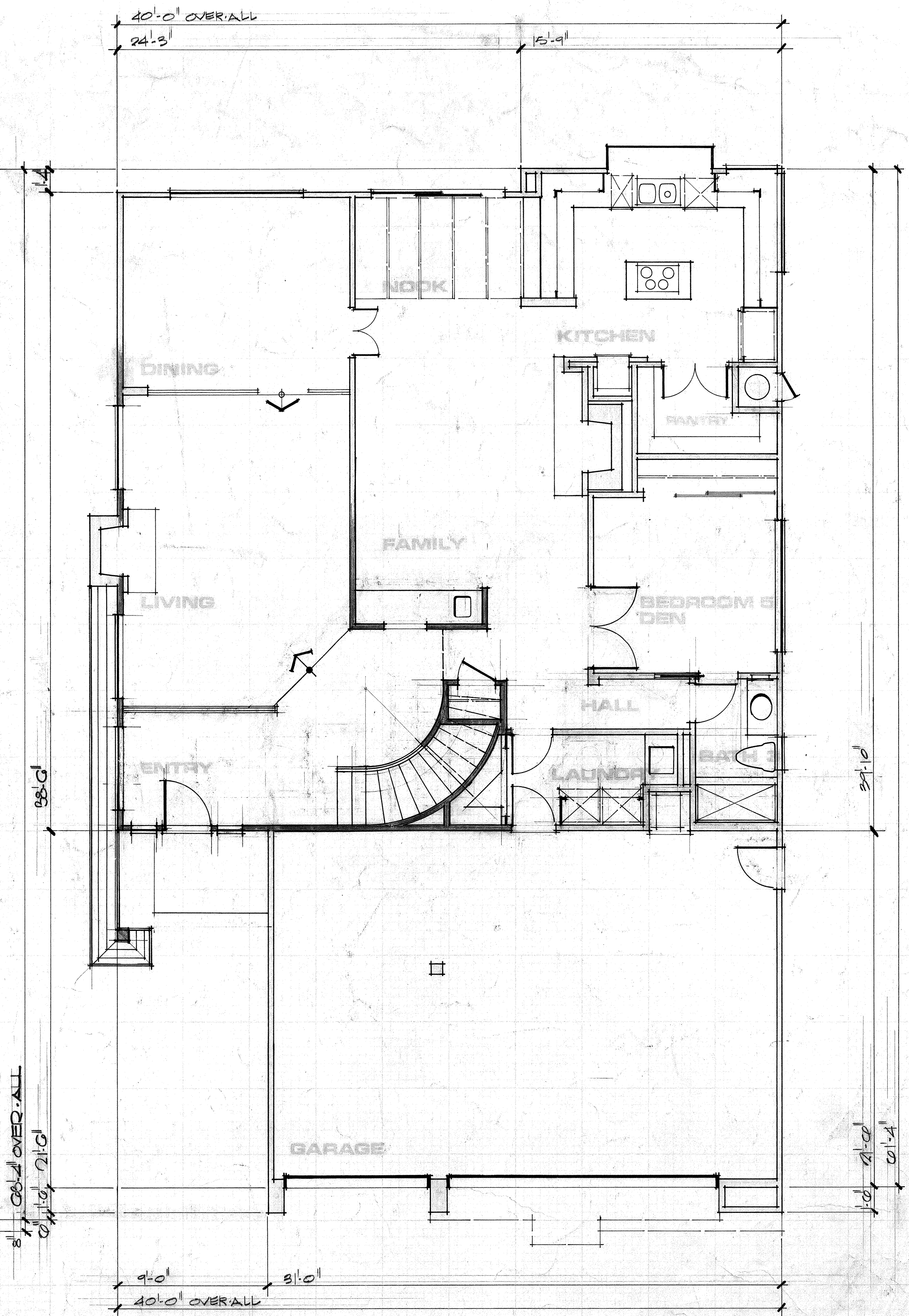
ELEV. NOTES:

1. All exterior stucco to be light texture finish. (Spanish or heavy texture not acceptable.)
2. Exterior fascias & barges to be ro/s.
3. Exposed exterior trim & beams to be ro/s on four sides.
4. See structural notes for shear panels indicated w/dash line on exterior elevations.
5. Typical siding to be: cedar wood shingles over space sheathing (1"x4") w/15 lbs. felt interlayment. All corners to be laced w/decorative V-cut and radius shingles per elevation.
6. Provide built-up 2"x10" facia w/1"x4" trim over.
7. * Provide insulated glazing as per mechanical engineer calculations.

CR DESIGN
 2022 BUSINESS CENTER DRIVE
 SUITE 235
 (714) 932-0217
 CR DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
 Canyon Creek



REV. SECOND FLOOR PLAN



REV. FIRST FLOOR PLAN

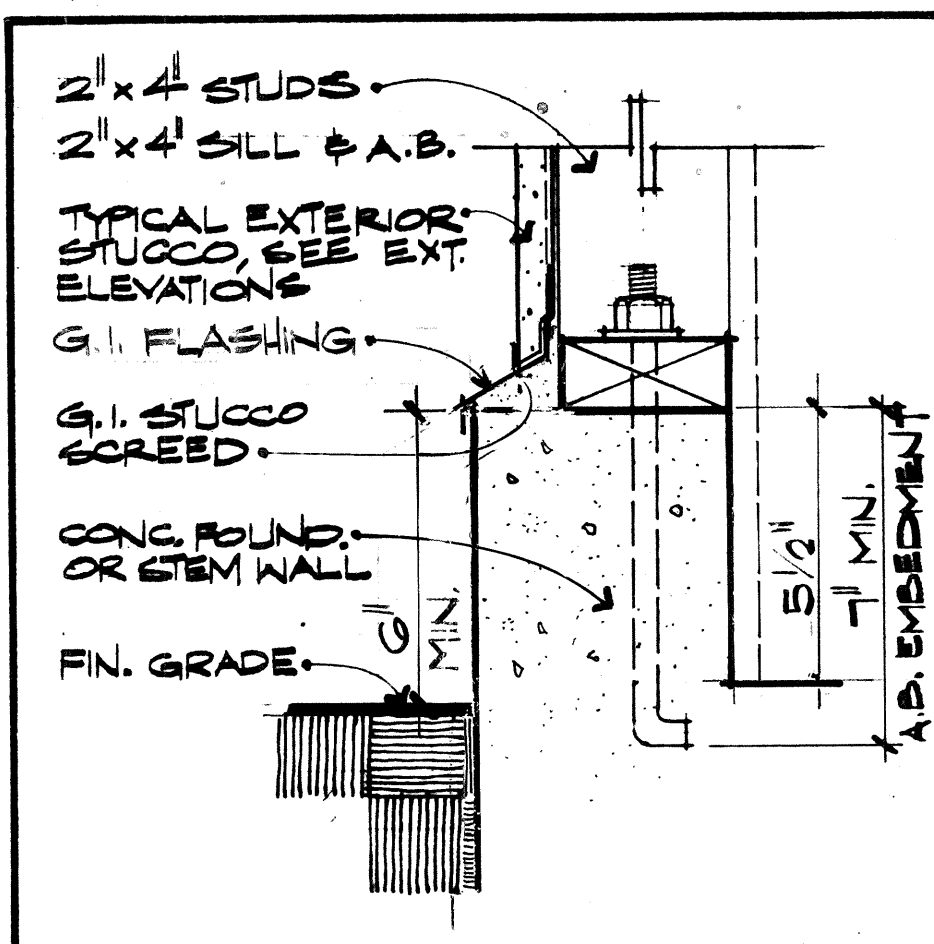
CR DESIGN

Canyon Creek

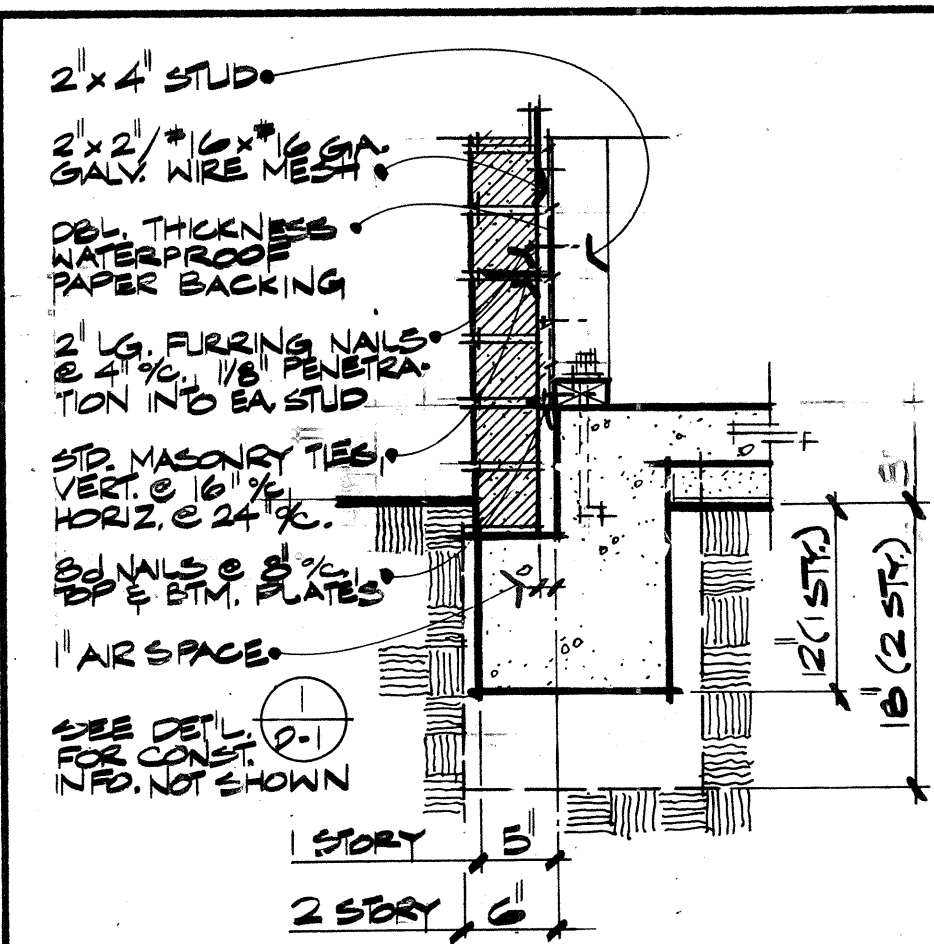
FOR CONSTRUCTION

DATE: 08/10/11
 SHEET NUMBER: 50
 DESIGNER: CR DESIGN
 PROJECT NUMBER: 50

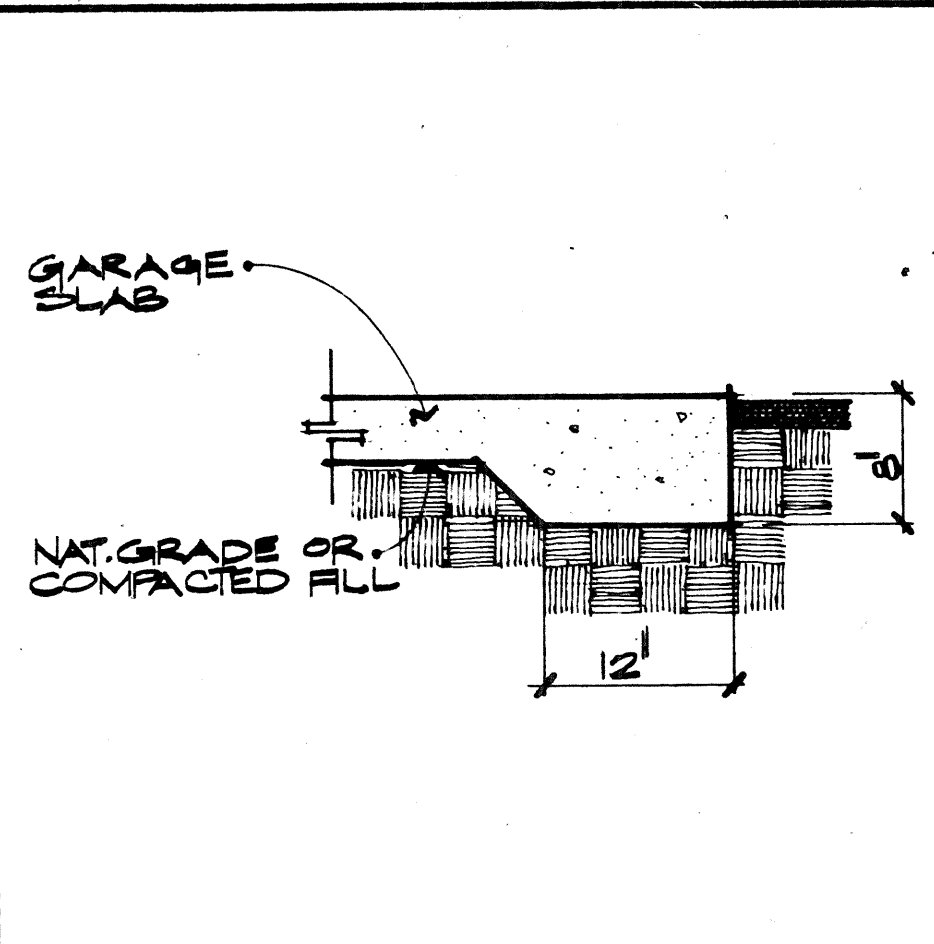
SHEET NUMBER



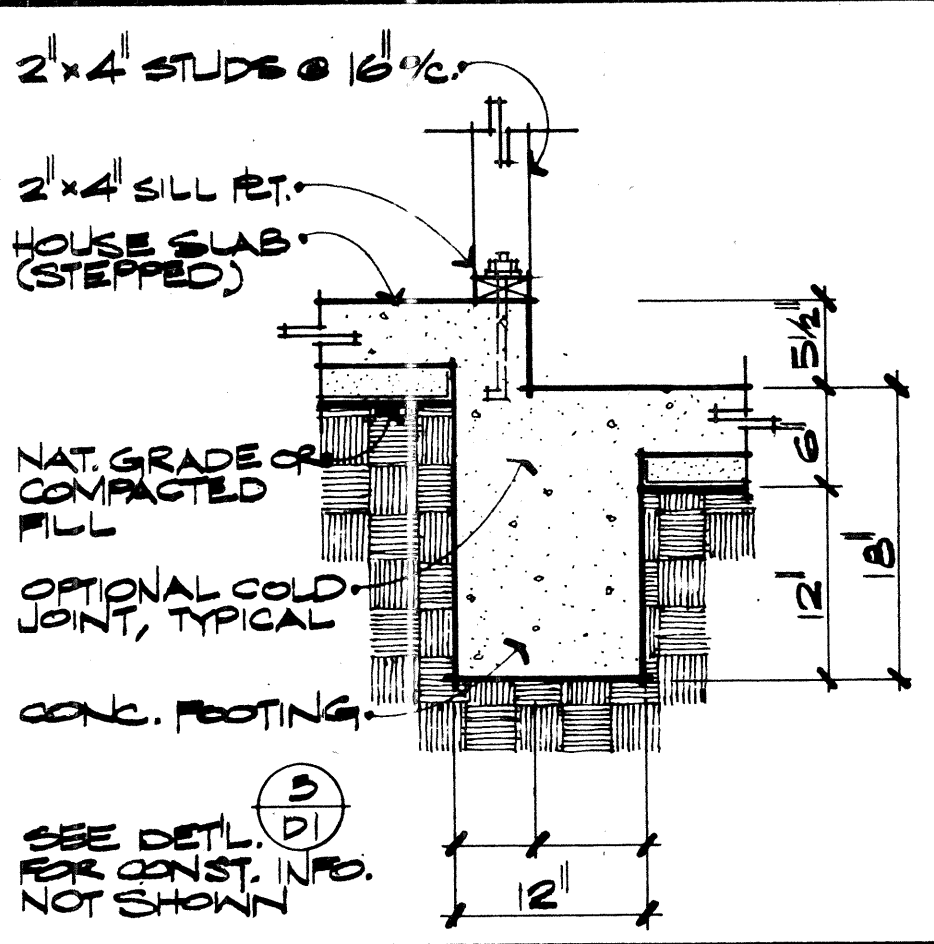
21 STUCCO SCREED
3'-1'-0"



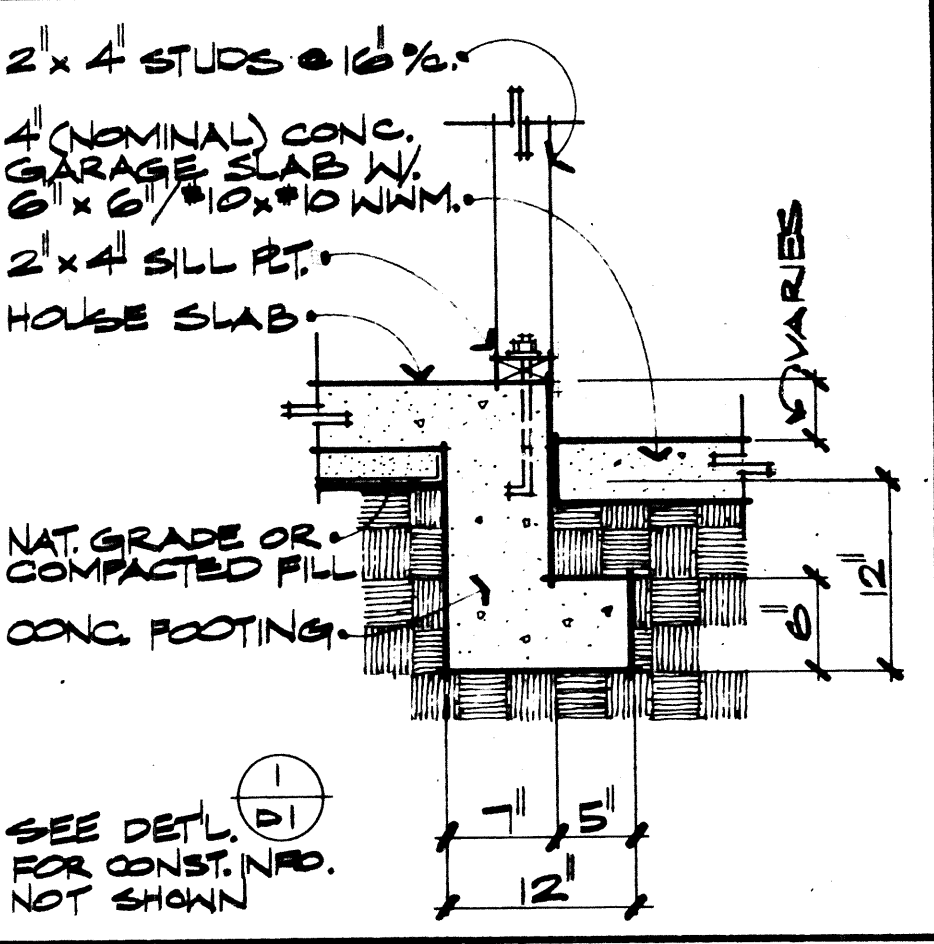
17 BRICK VENEER
1'-1'-0"



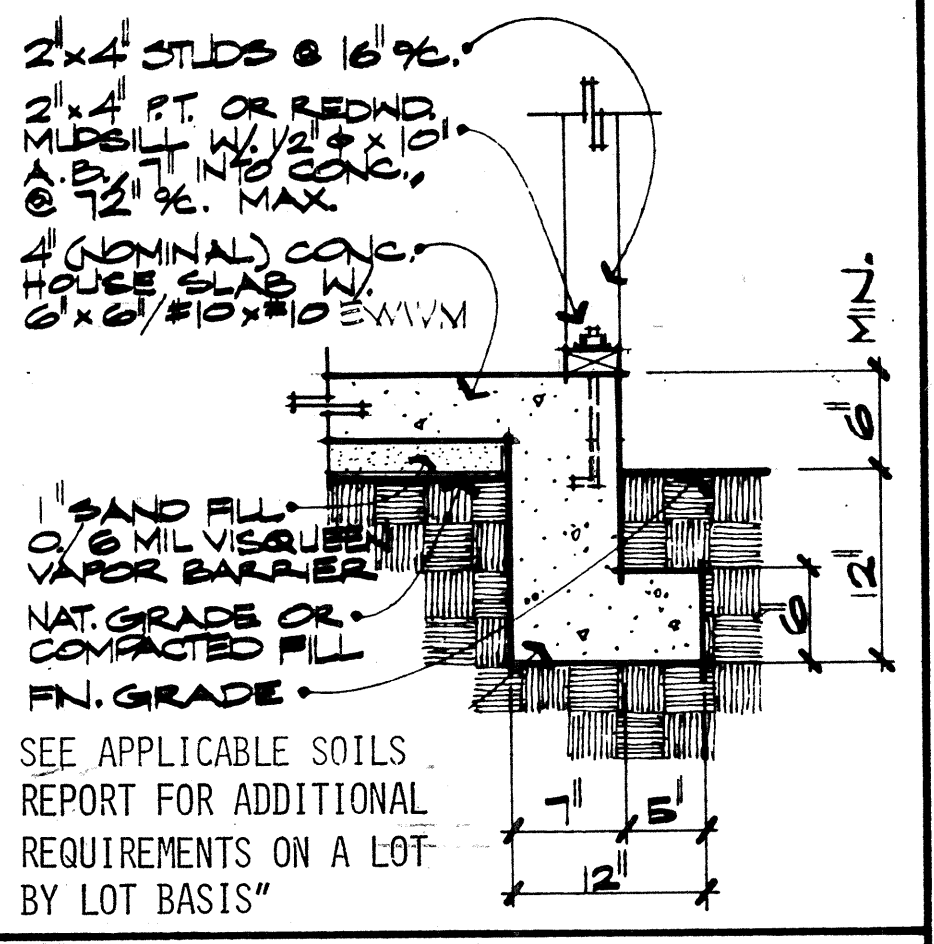
13 CONC. APRON
1'-1'-0"



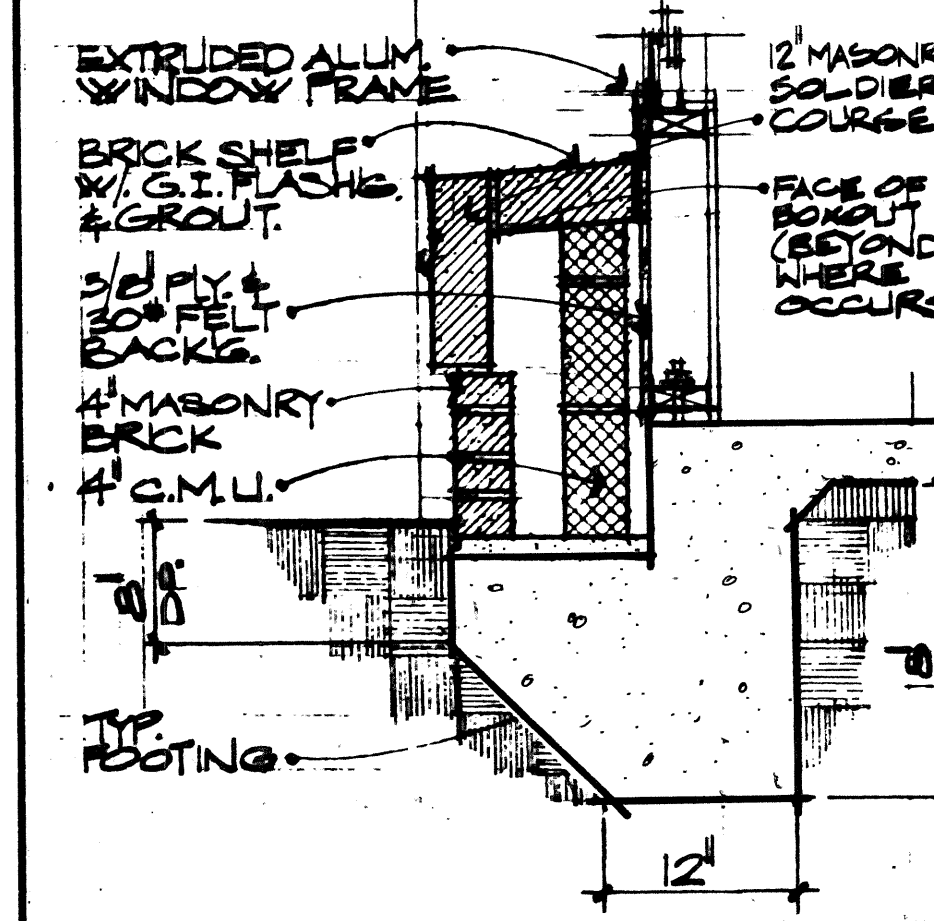
9 STEPPED SLAB @ FTG.
ONE - STORY 1'-1'-0"



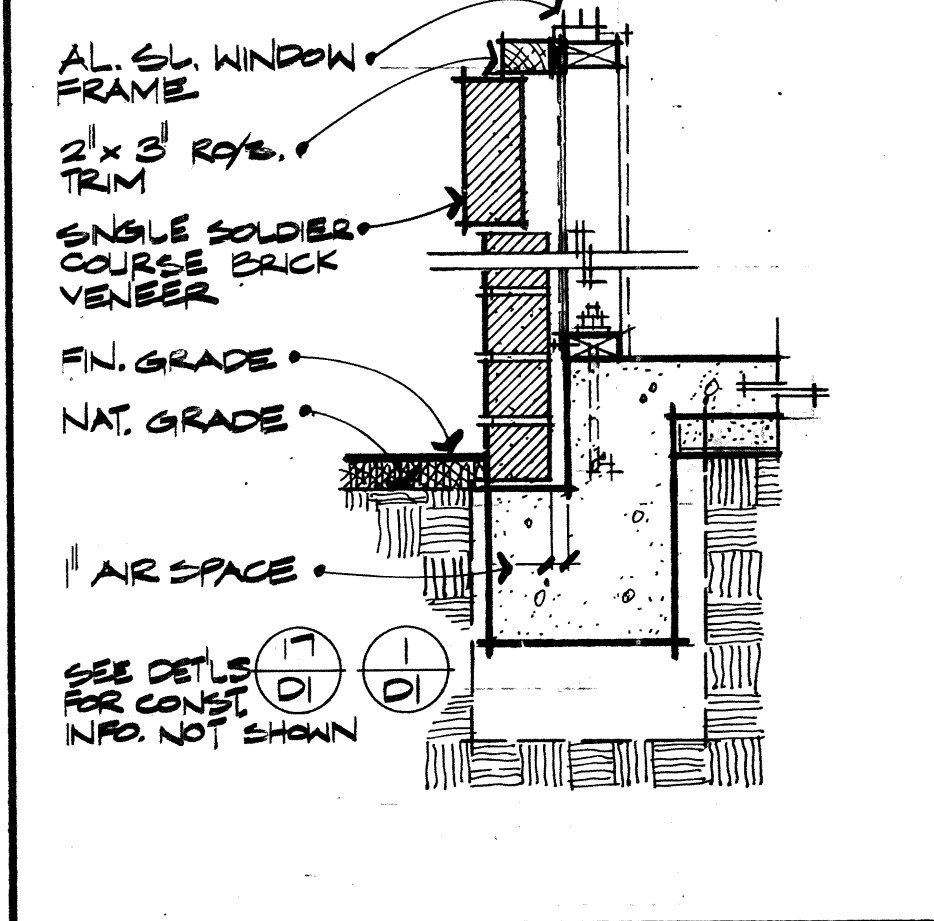
5 HOUSE TO GARAGE
ONE - STORY 1'-1'-0"



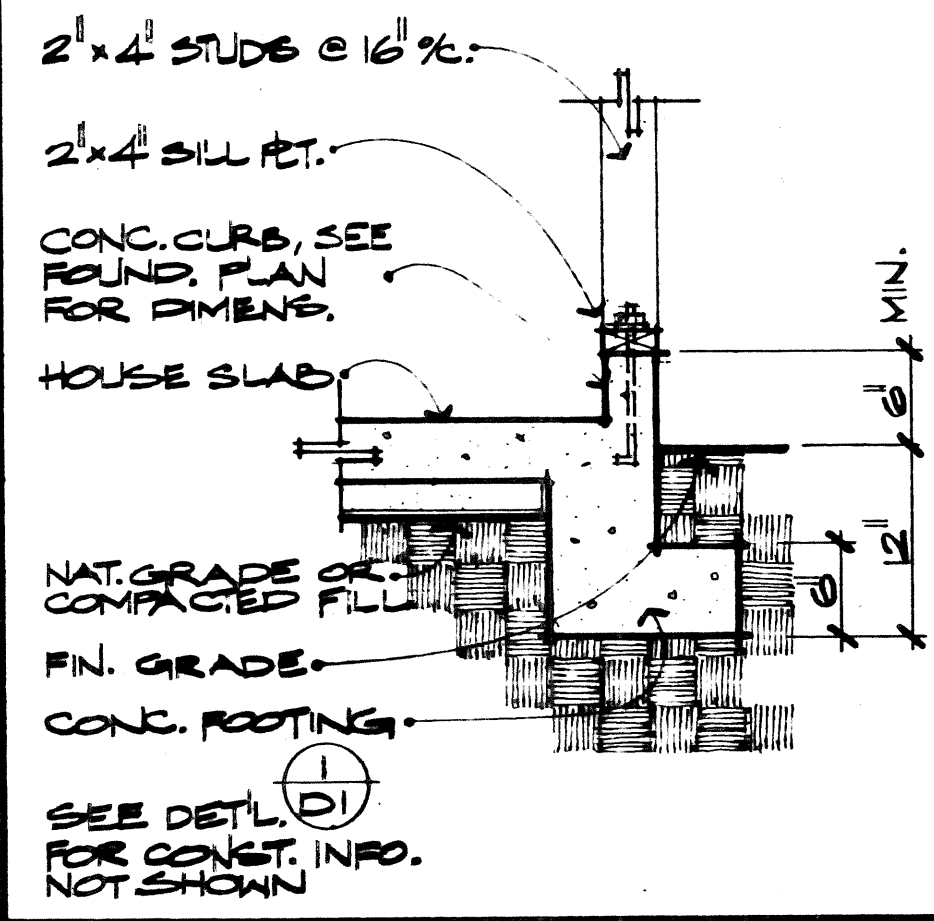
1 EXTERIOR FOOTING
ONE - STORY 1'-1'-0"



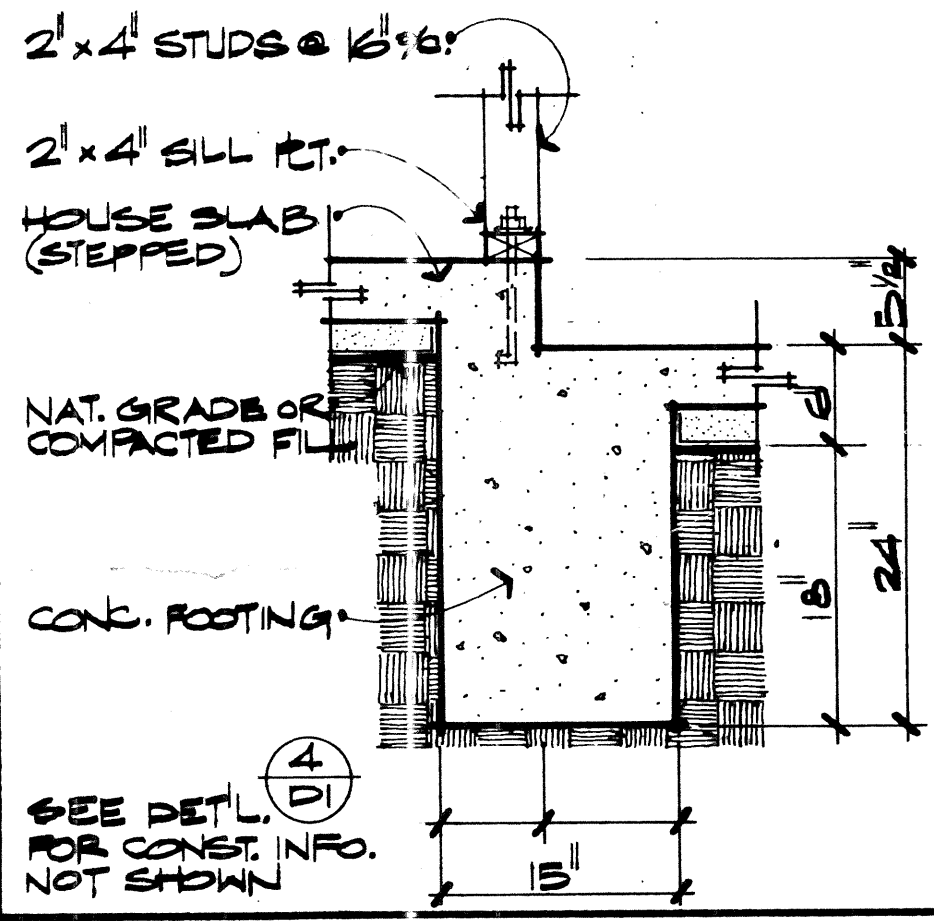
22 BRICK POTSHELF
1'-1'-0"



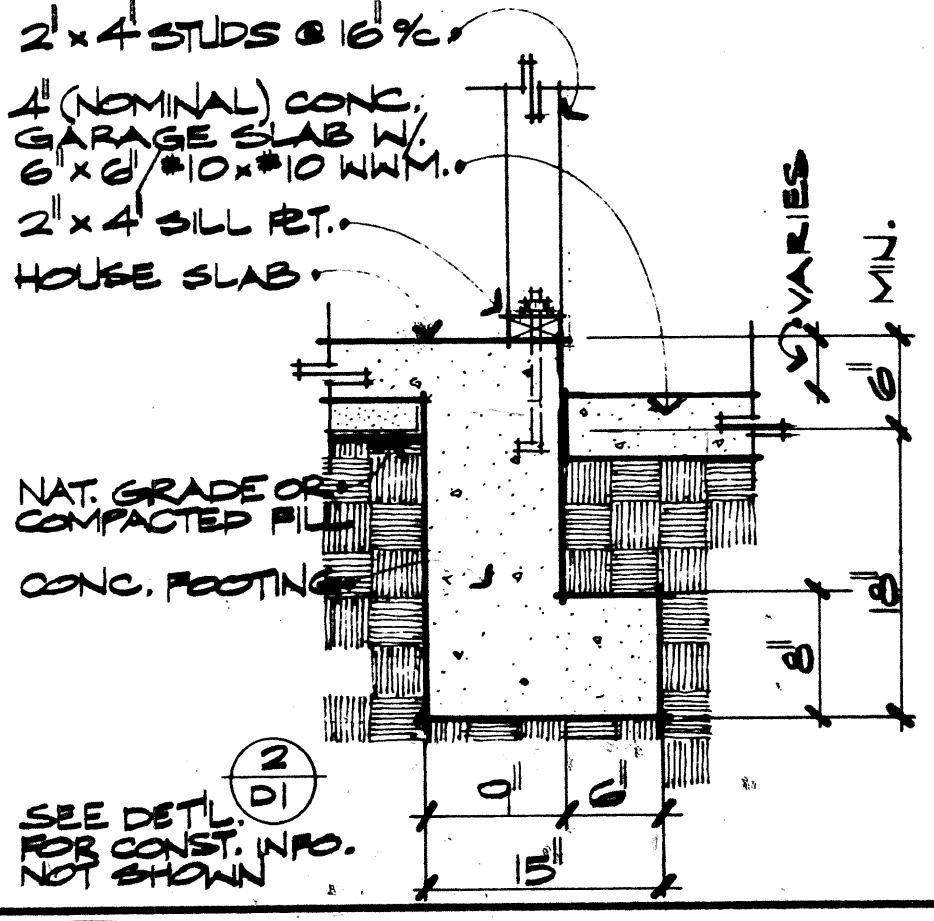
18 BRICK VENEER
BELOW WDW. 1'-1'-0"



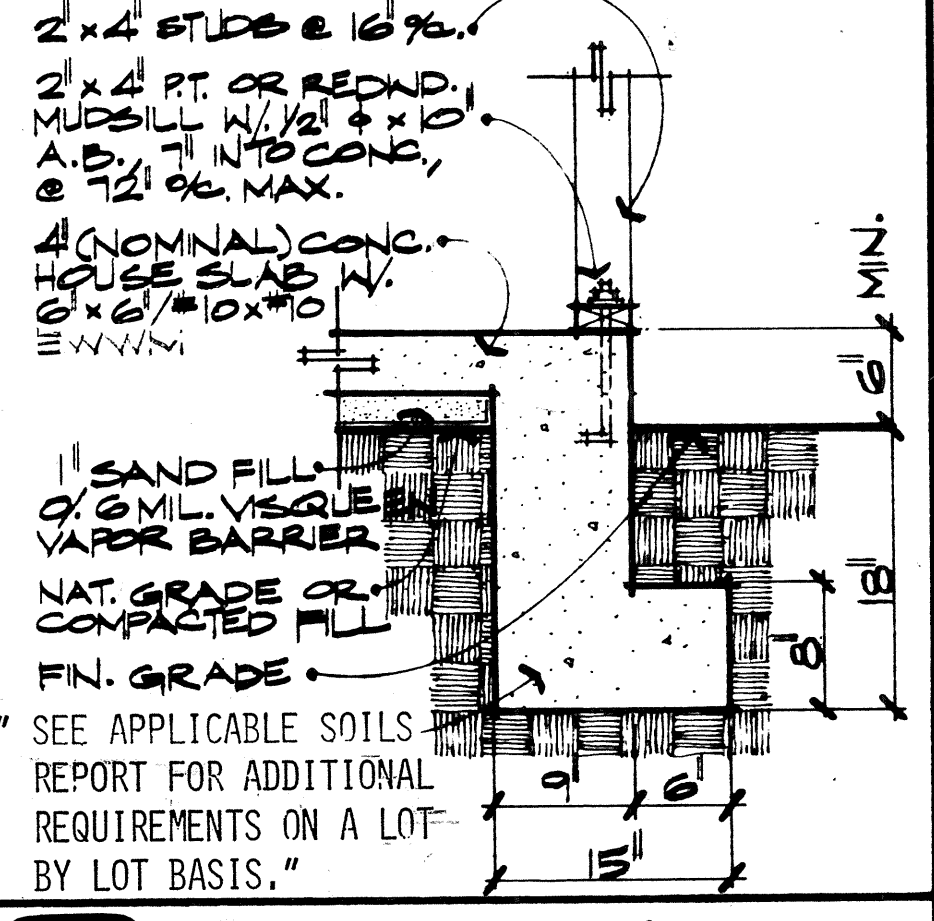
14 CONC. CURB & DROPP'D
HOUSE SLAB 1'-1'-0"



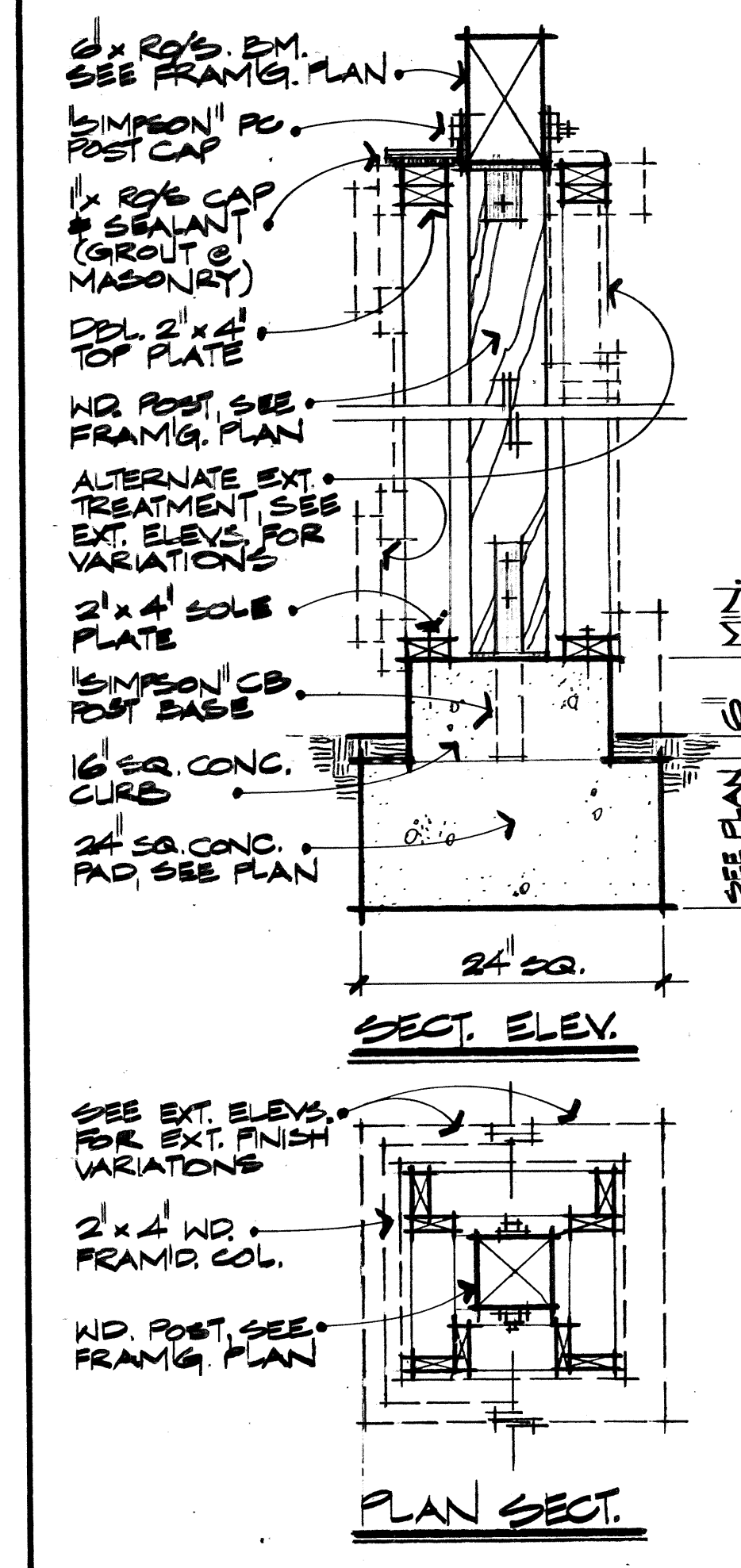
10 STEPPED SLAB @ FTG.
TWO - STORY 1'-1'-0"



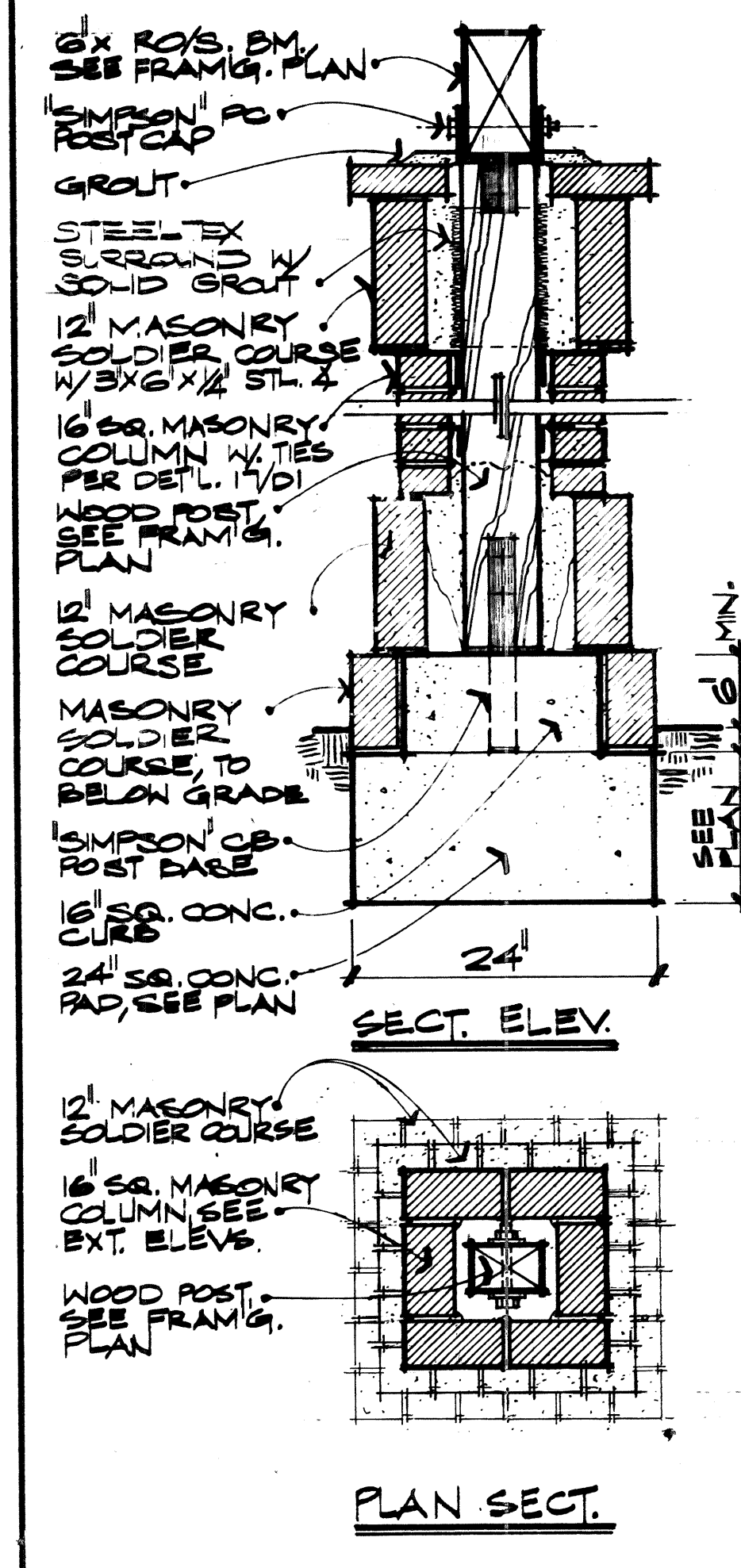
6 HOUSE TO GARAGE
TWO - STORY 1'-1'-0"



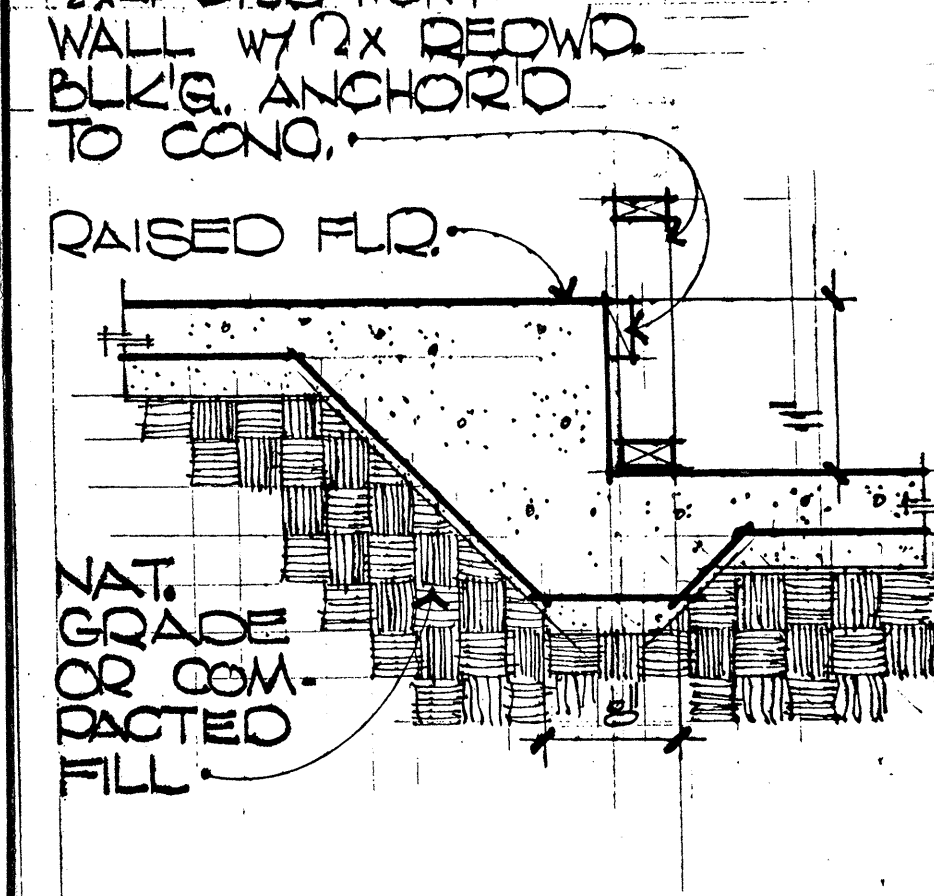
2 EXTERIOR FOOTING
TWO - STORY 1'-1'-0"



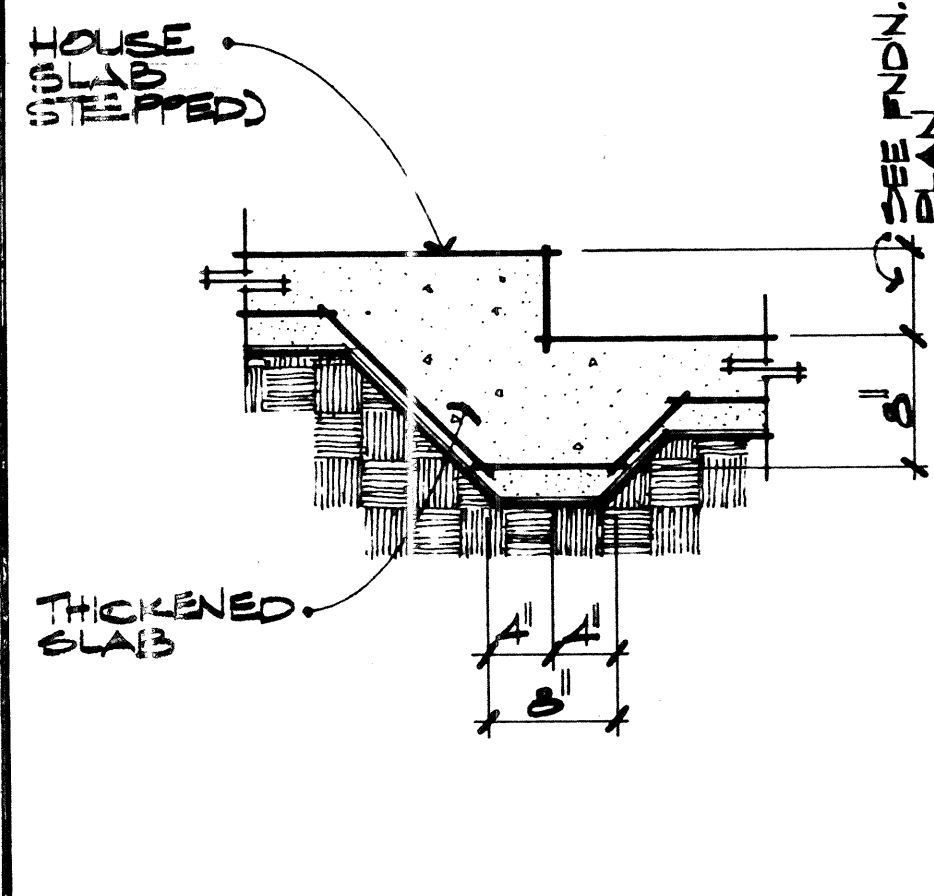
24 WOOD FRAM'D.
COLUMN 1'-1'-0"



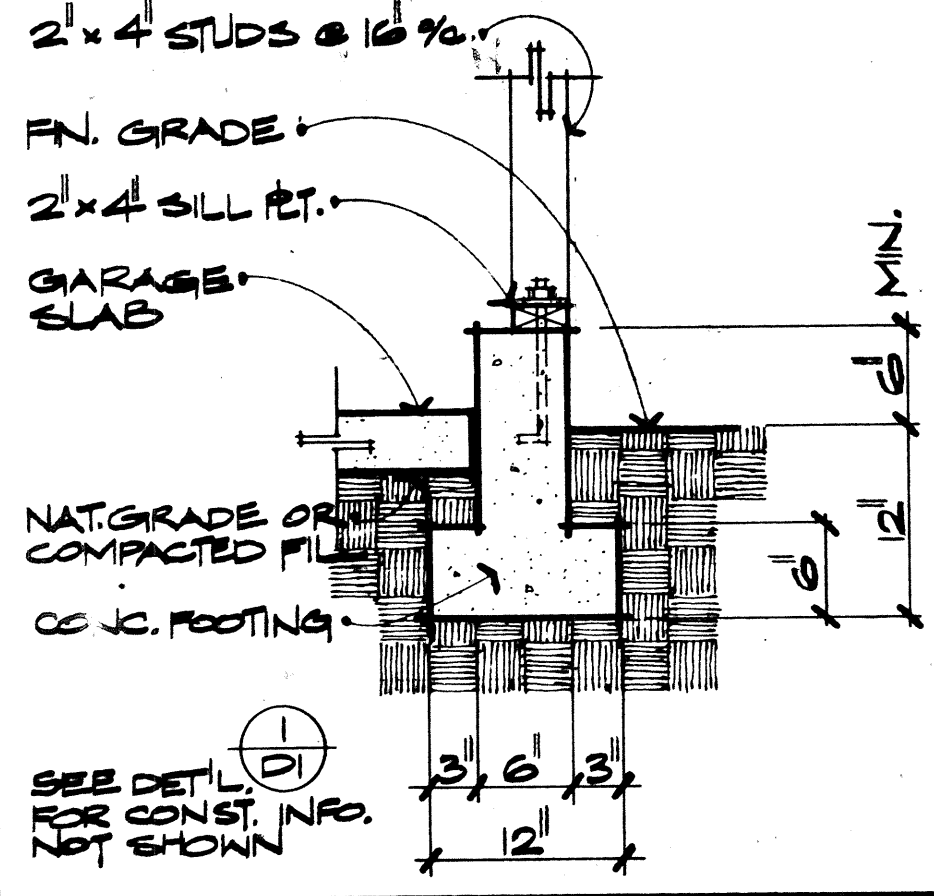
20 MASONRY COLUMN
1'-1'-0"



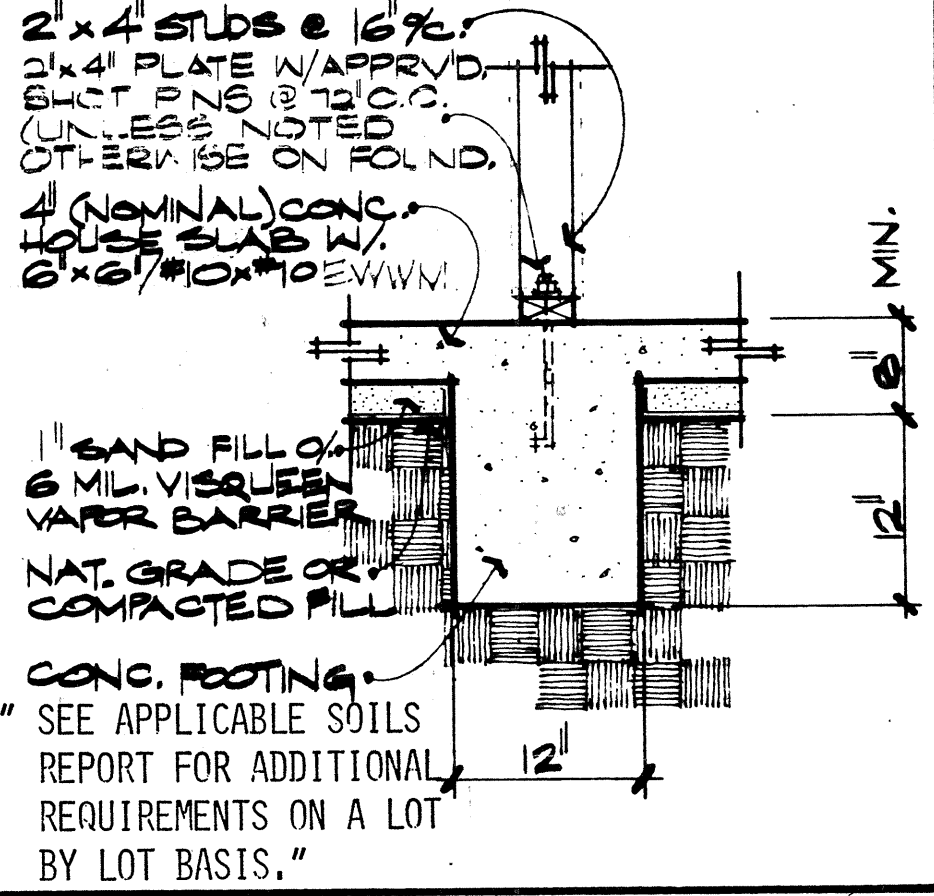
15 RAISED TO LOWER
CONC. SLAB 1'-1'-0"



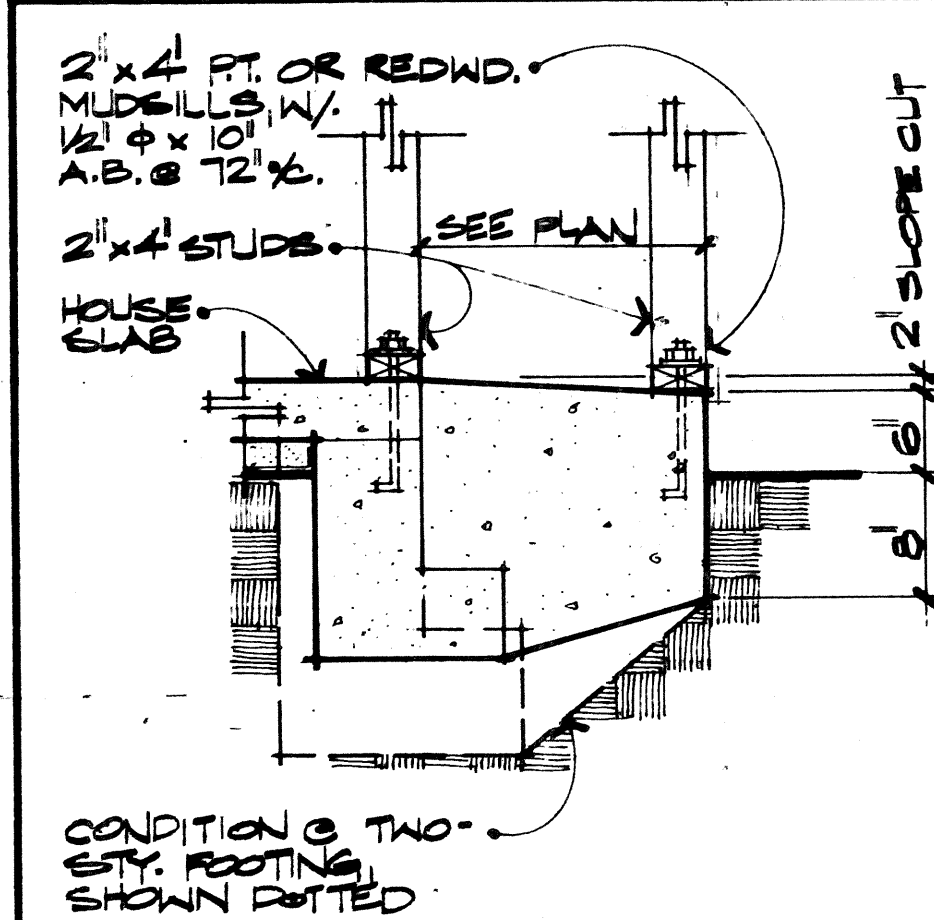
11 STEPPED SLAB
1'-1'-0"



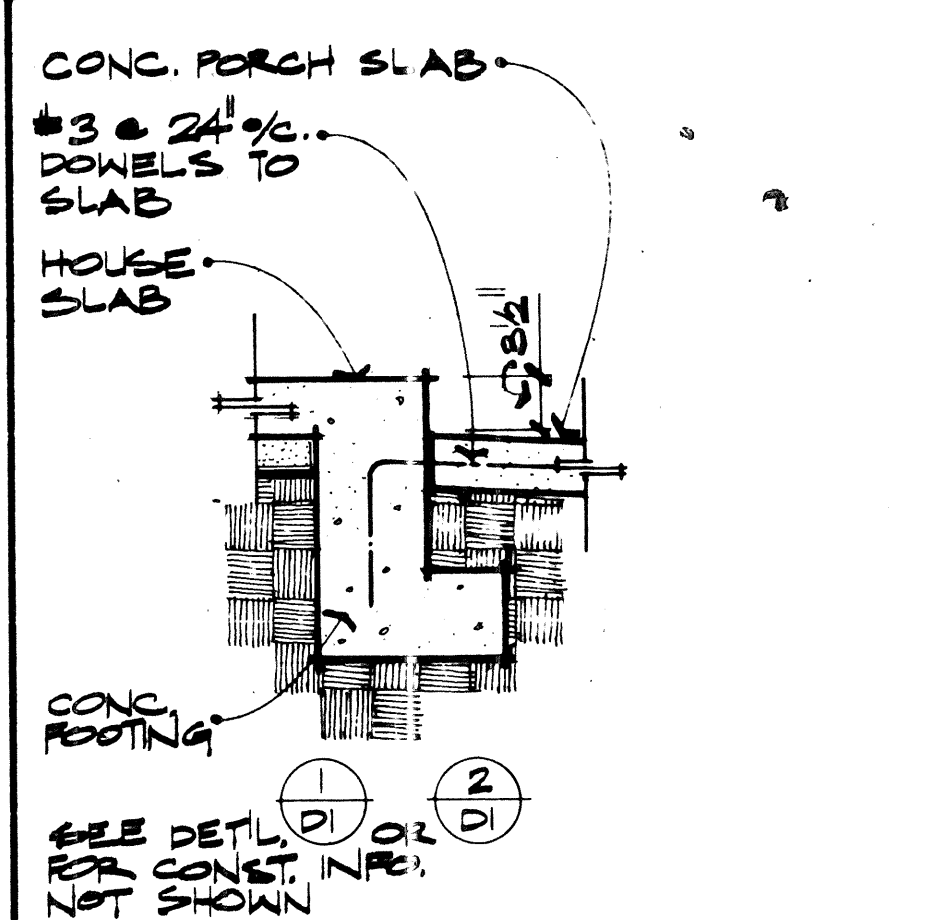
7 CONC. CURB
ONE - STORY 1'-1'-0"



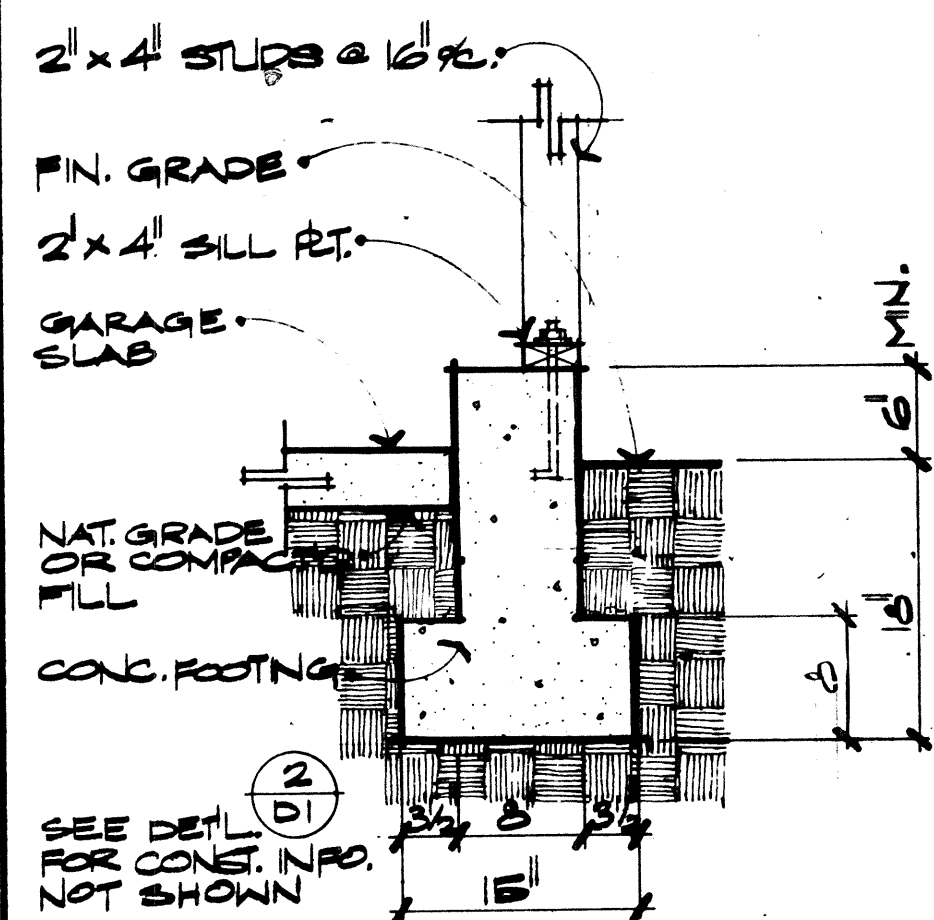
3 INTERIOR FOOTING
ONE - STORY 1'-1'-0"



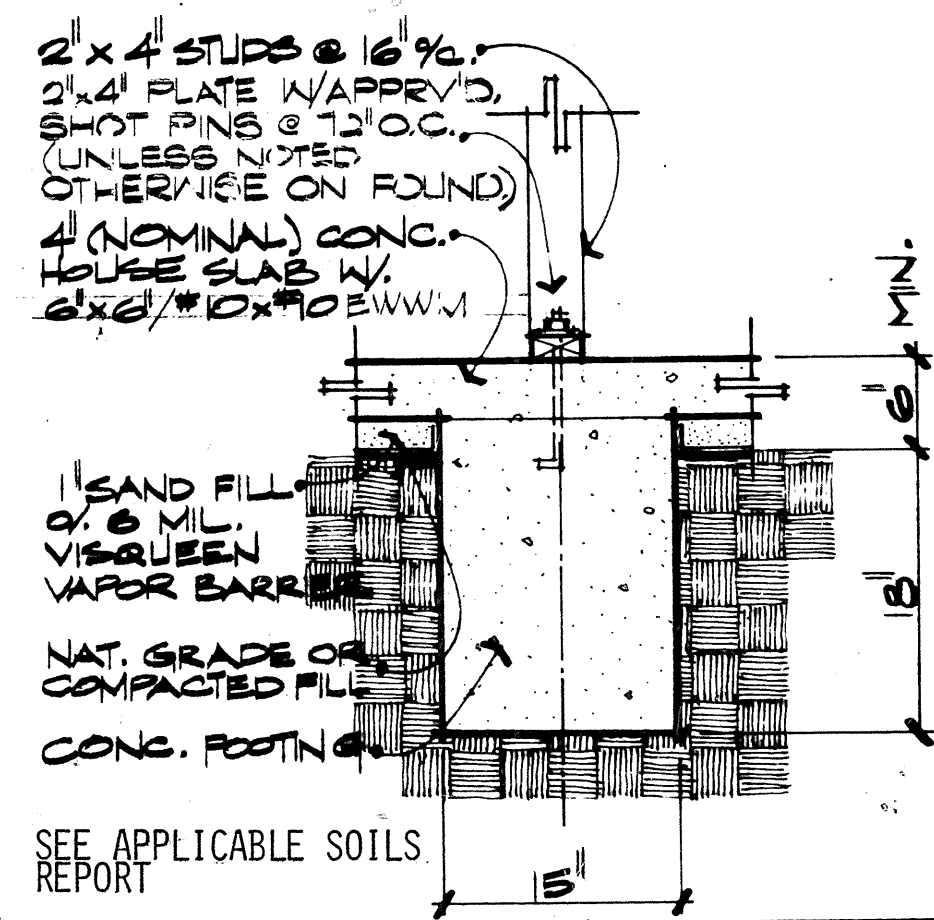
16 FTG. @ POTSHELF/
BOX-OUT 1'-1'-0"



12 EXT. FTG. TO PORCH
1'-1'-0"

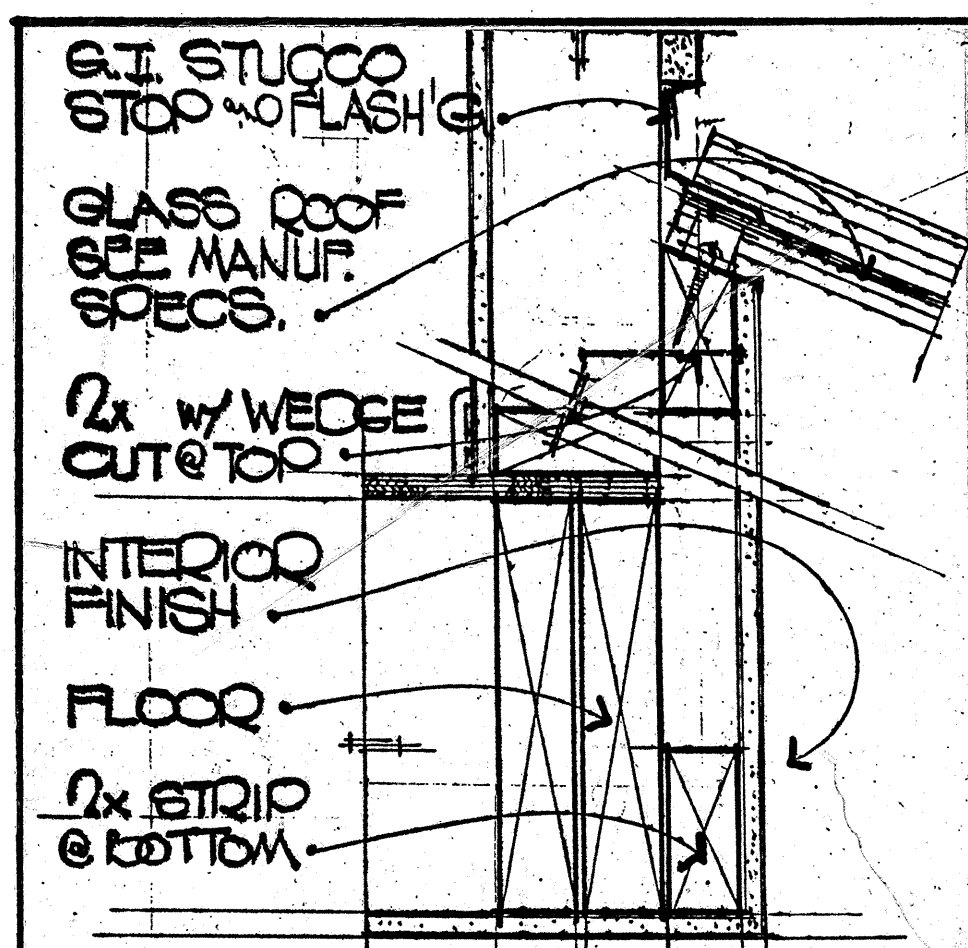


8 CONC. CURB
TWO - STORY 1'-1'-0"

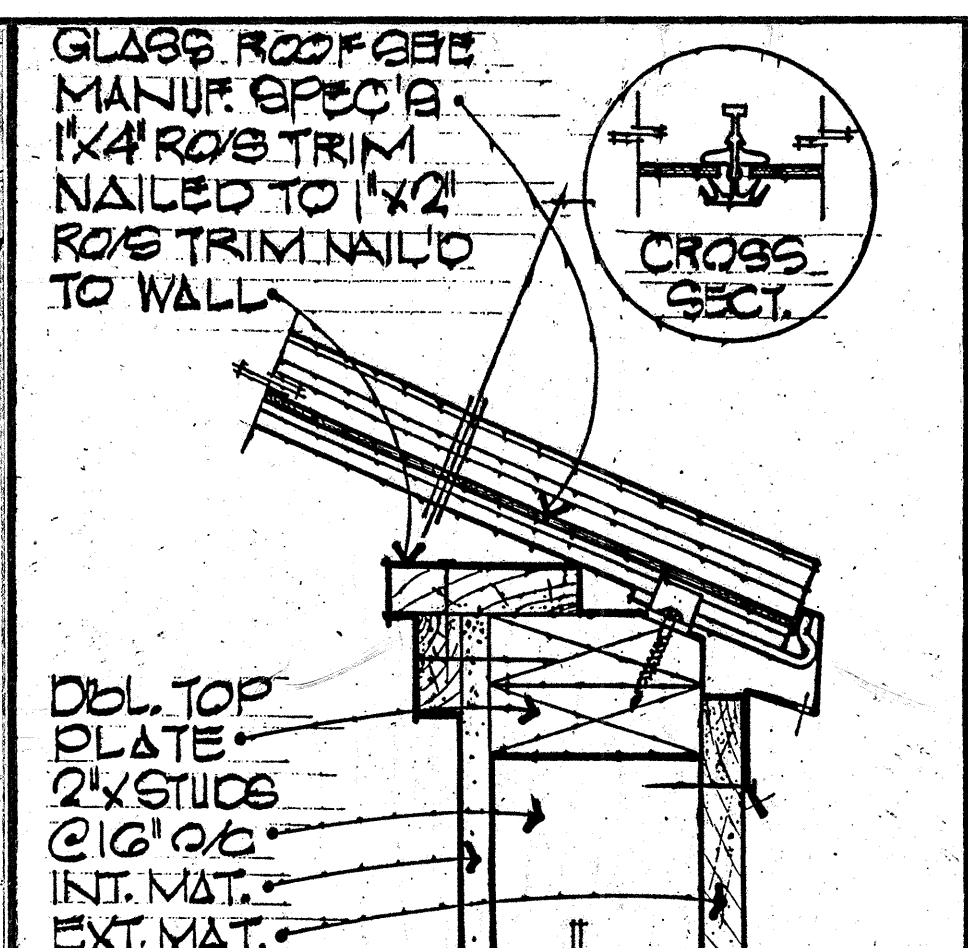


4 INTERIOR FOOTING
TWO - STORY 1'-1'-0"

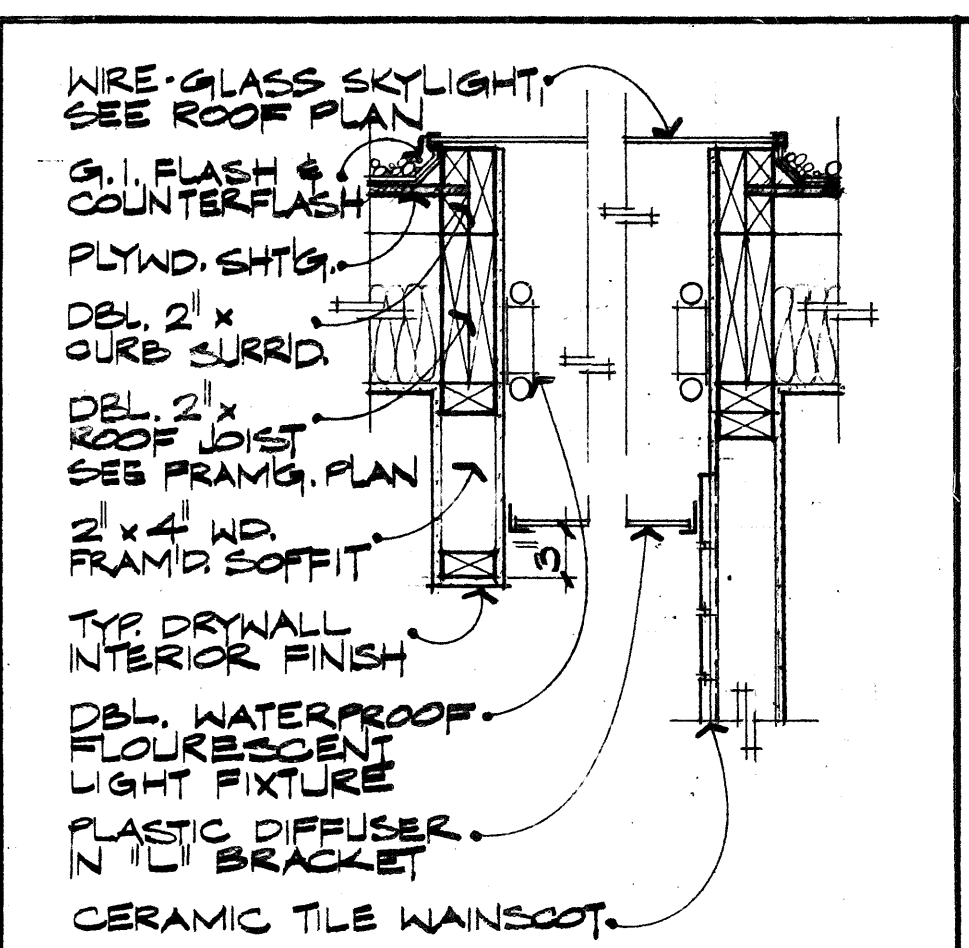
CR DESIGN
 2022 BUSINESS CENTER DRIVE
 IRVINE, CALIFORNIA 92715
 SUITE 245 (714) 755-0717
 SHEET NUMBER
D-1
 FOUNDATION
 FOR CONSTRUCTION
 Canyon Creek
 RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
 DATE NUMBER:
 DRAWN BY:
 REVISIONS:



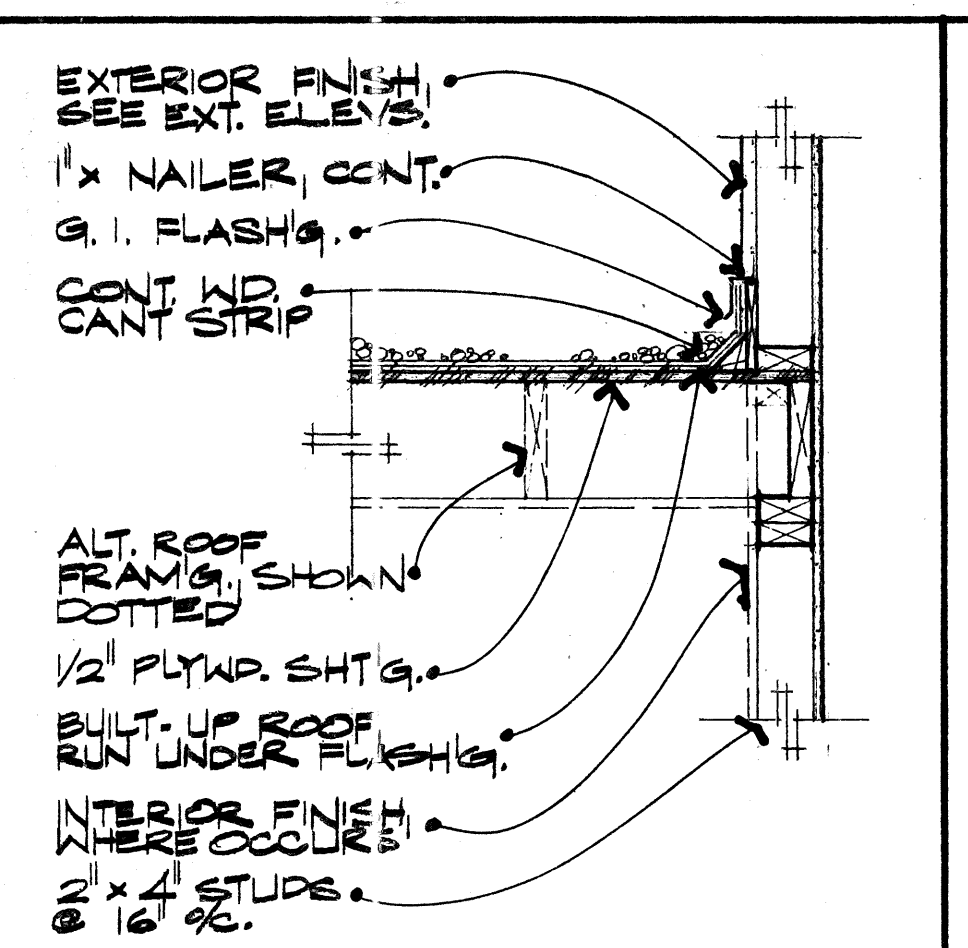
45 GLASS ROOF @ WALL 1/2" = 1'-0"



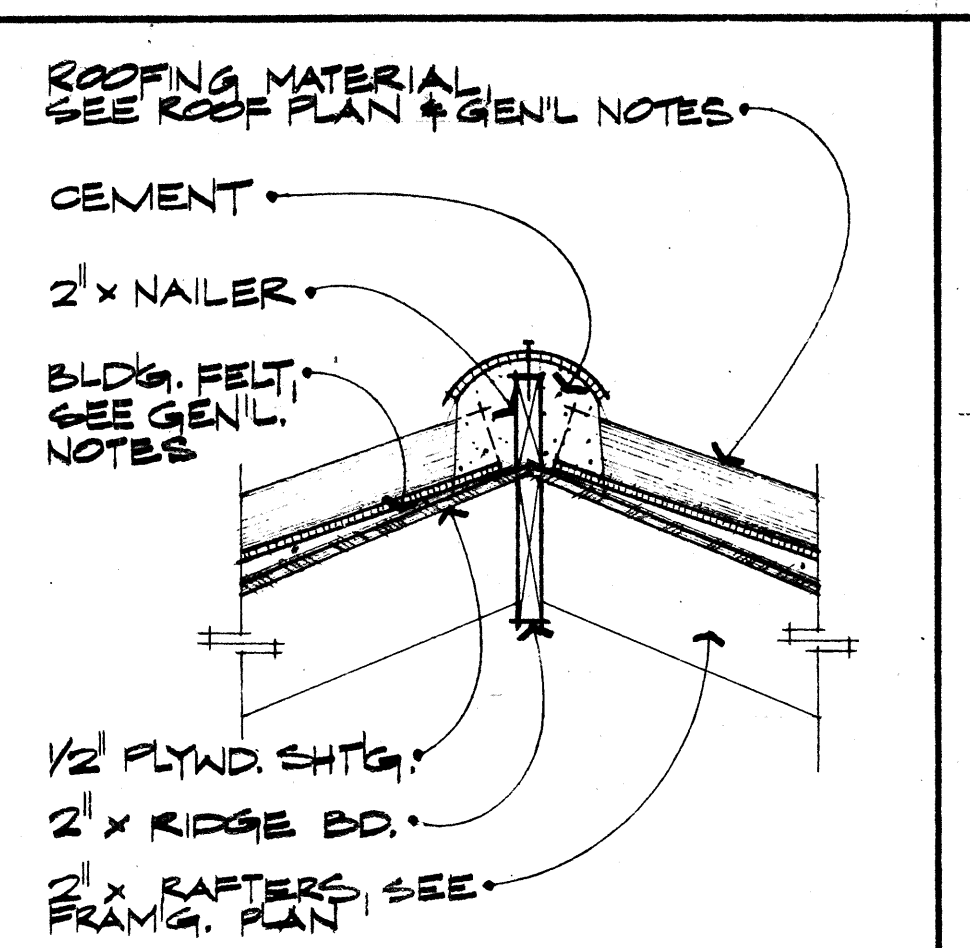
41 GLASS ROOF 3/4" = 1'-0"



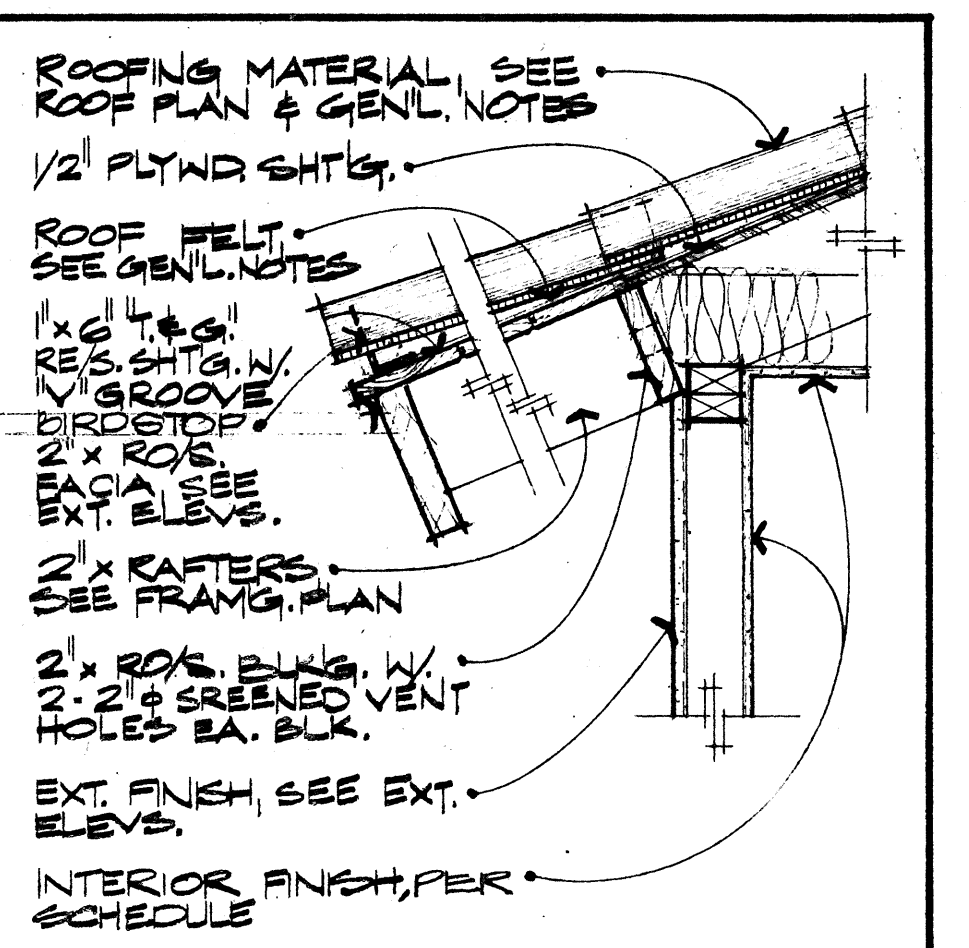
37 SKYLIGHT LIGHTWELL 1/2" = 1'-0"



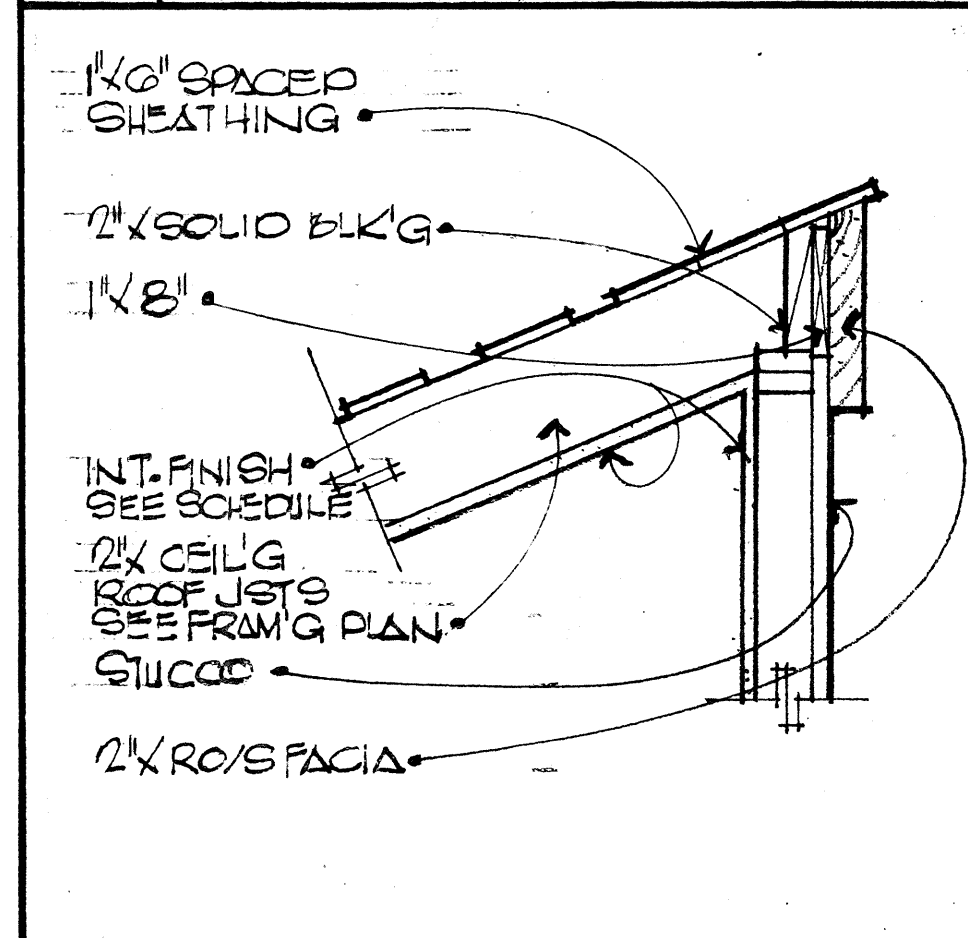
33 FLAT ROOF TO WALL 1/2" = 1'-0"



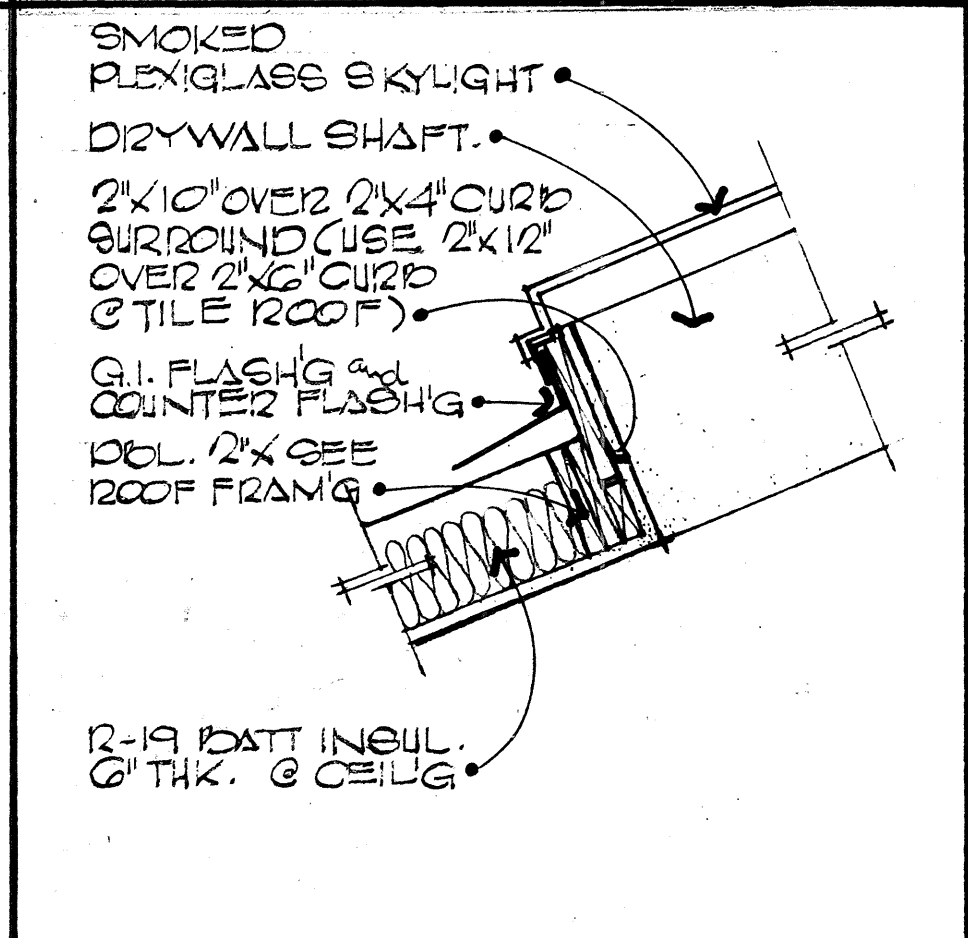
29 TYP. RIDGE W/ TILE 1/2" = 1'-0"



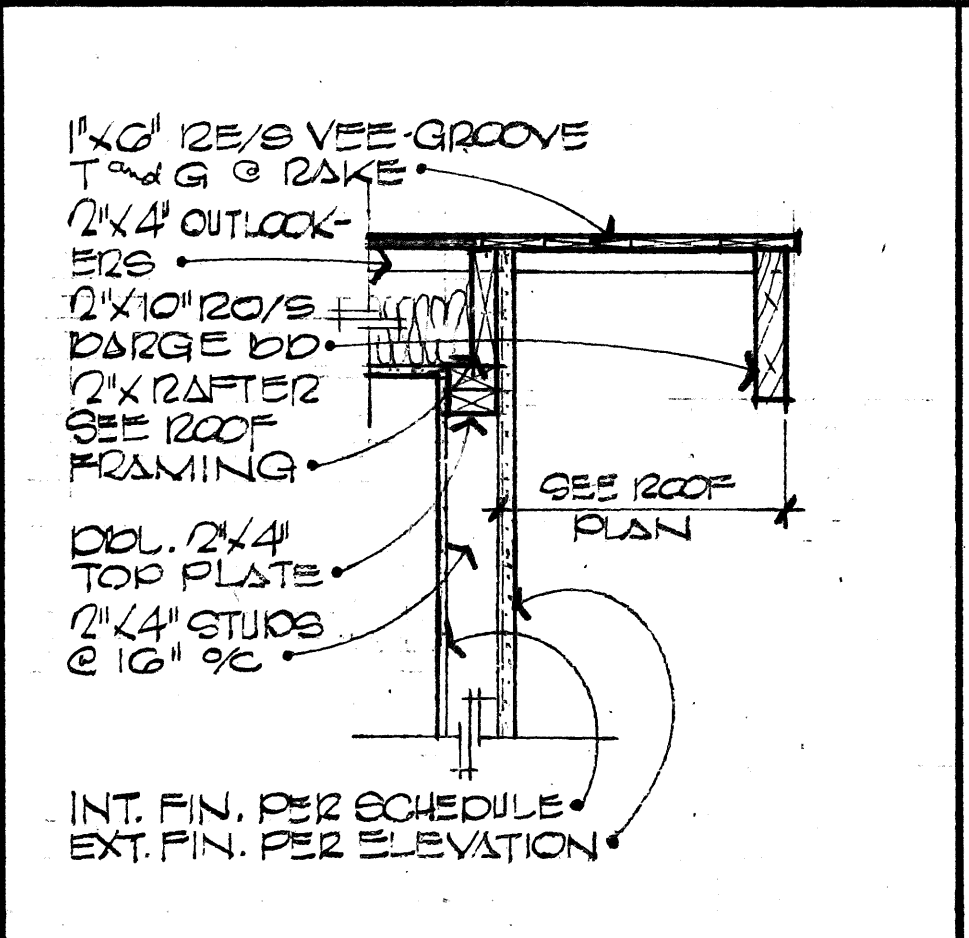
25 TYP. EAVE 1/2" = 1'-0"



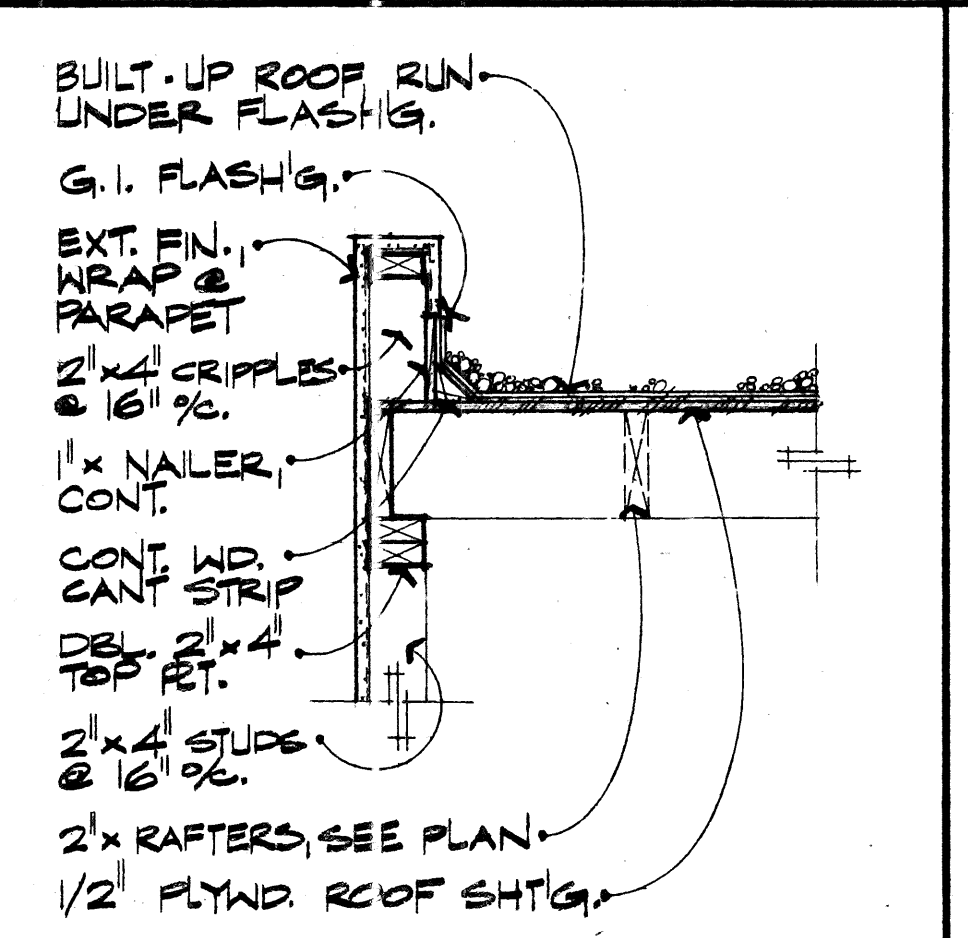
46 FLUSH EAVE 3/4" = 1'-0"



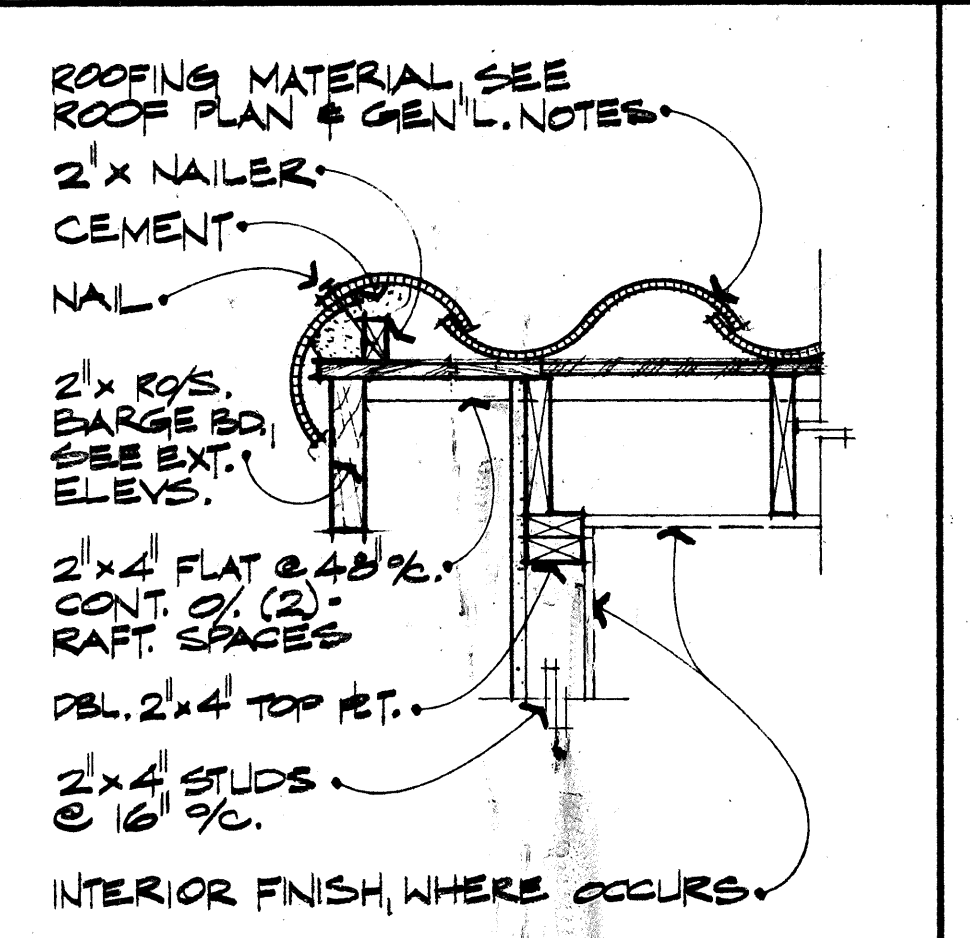
42 TYP. SKYLIGHT 1/2" = 1'-0"



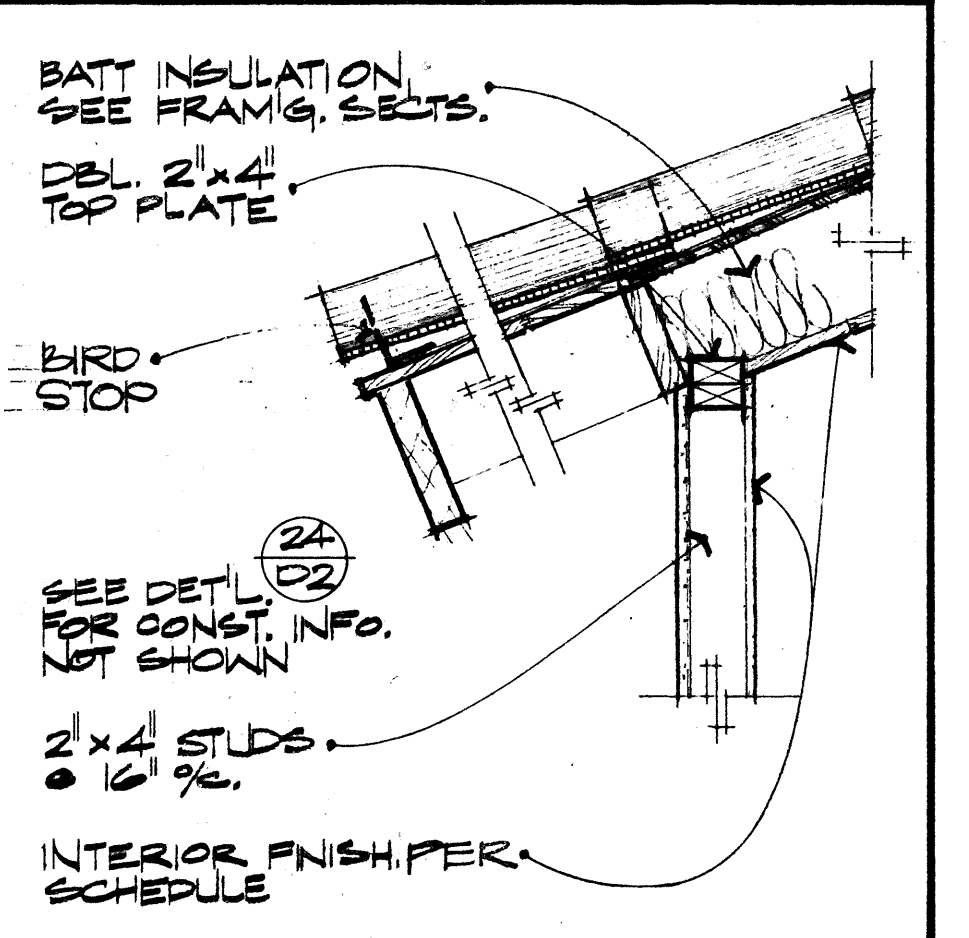
38 TYP. RAKE 1/2" = 1'-0"



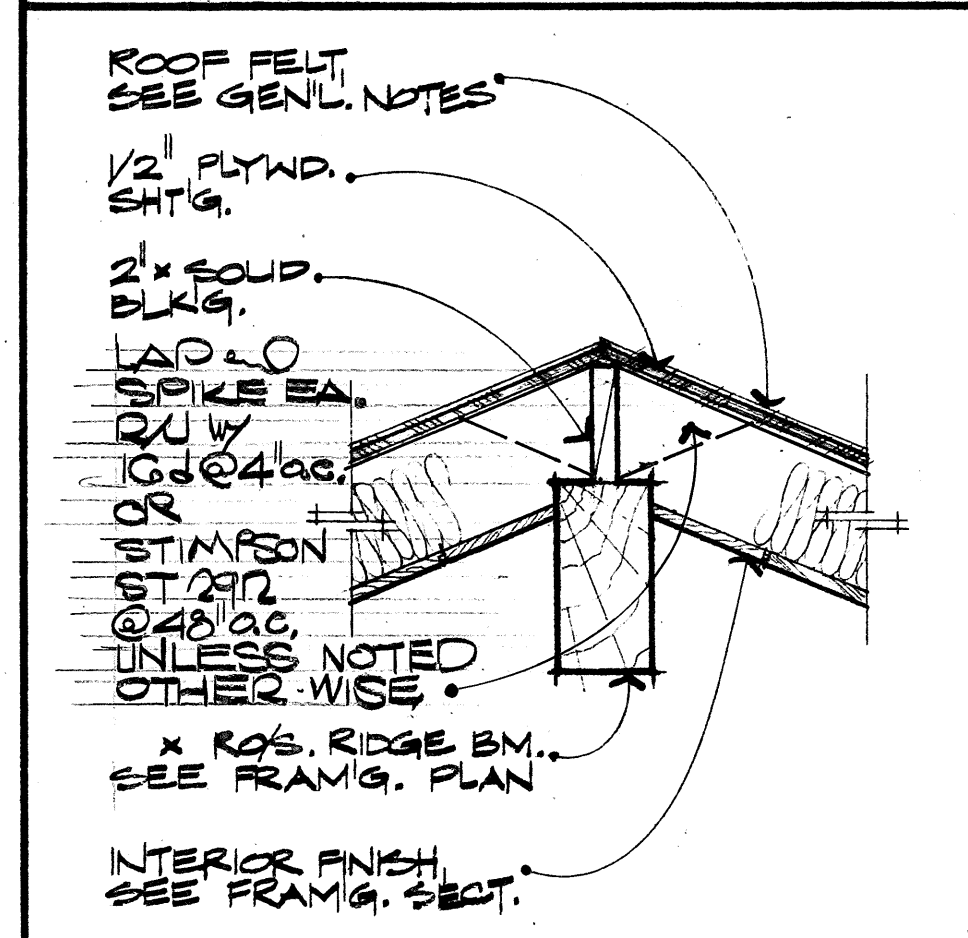
34 PARAPET WALL 1/2" = 1'-0"



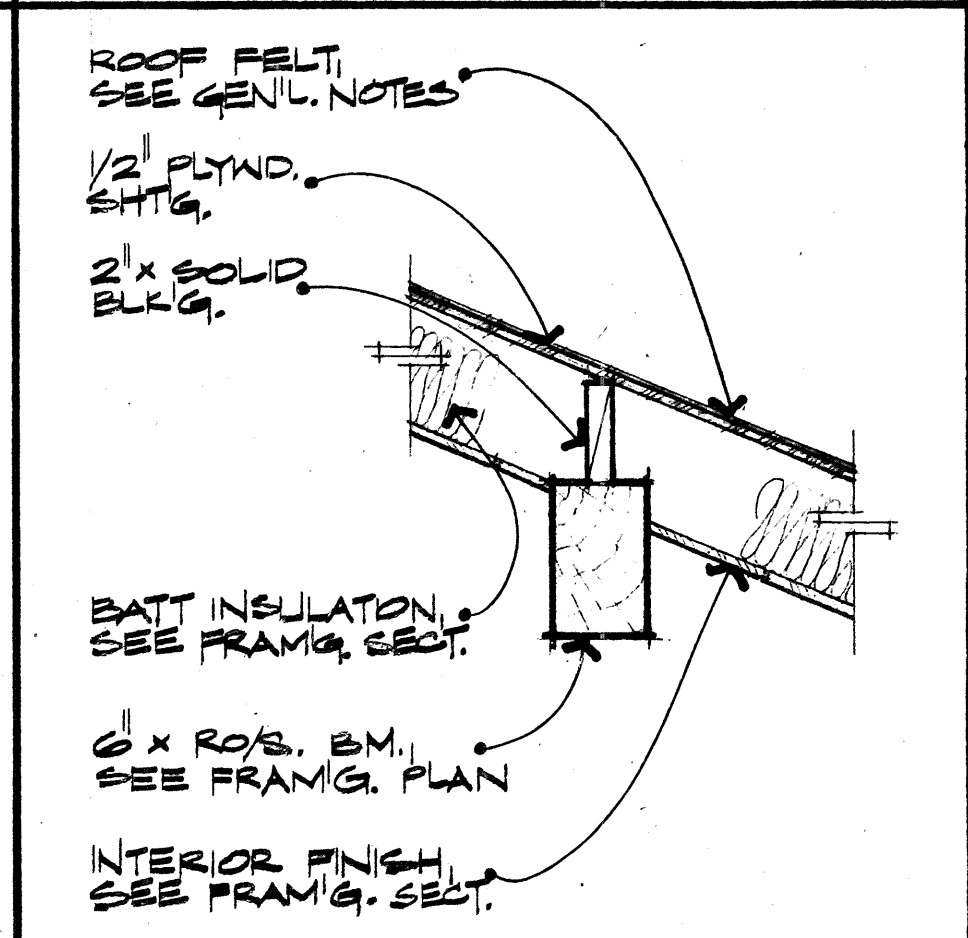
30 TYP. RAKE 1/2" = 1'-0"



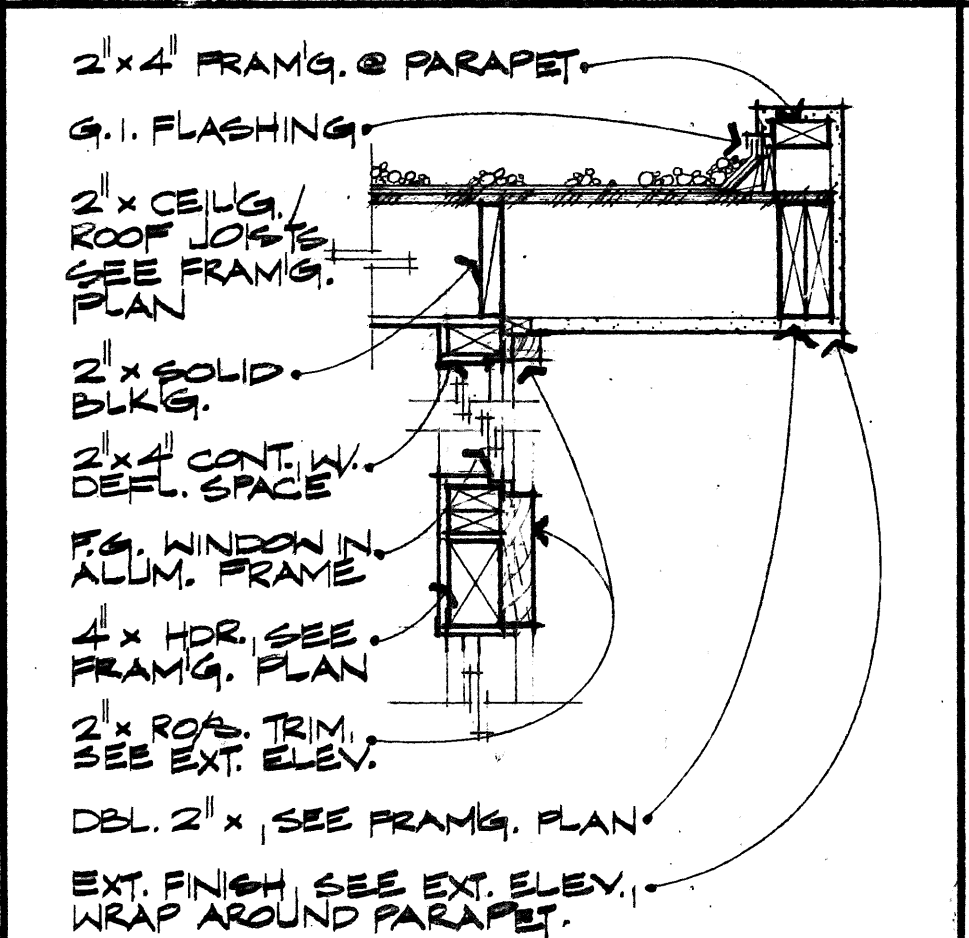
26 EAVE @ SLOPG. CLG. 1/2" = 1'-0"



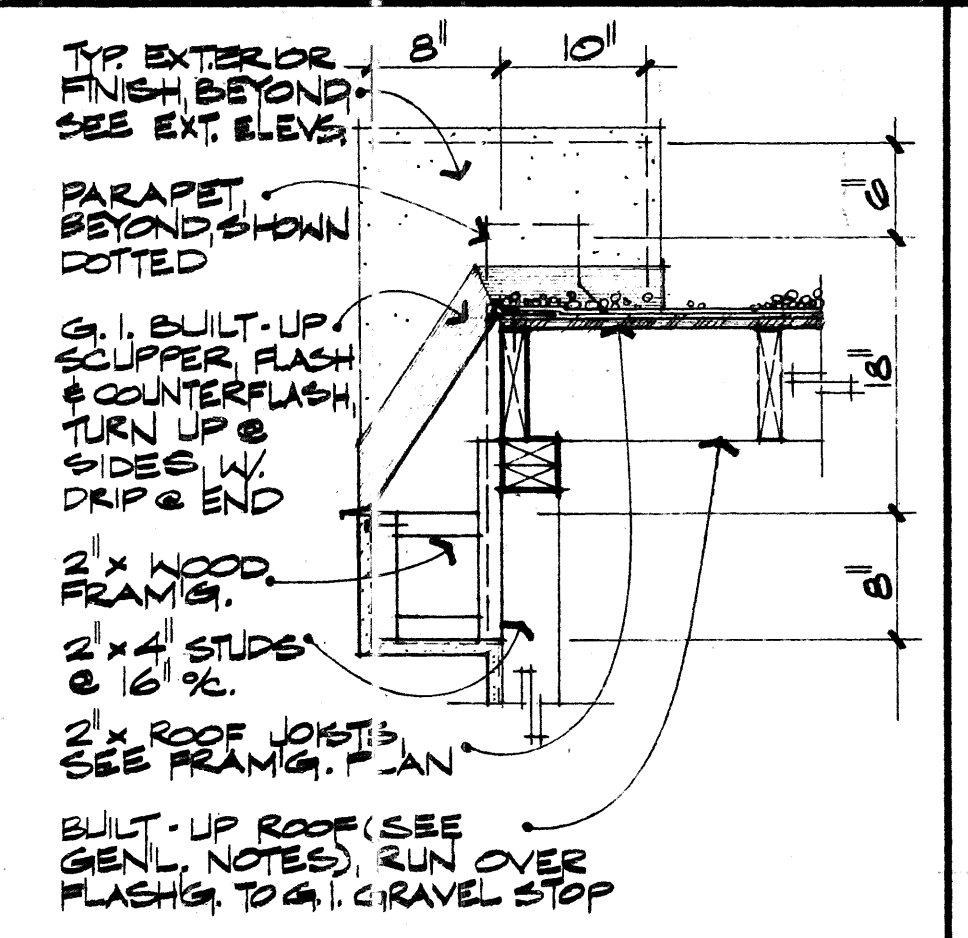
47 RIDGE BEAM 1/2" = 1'-0"



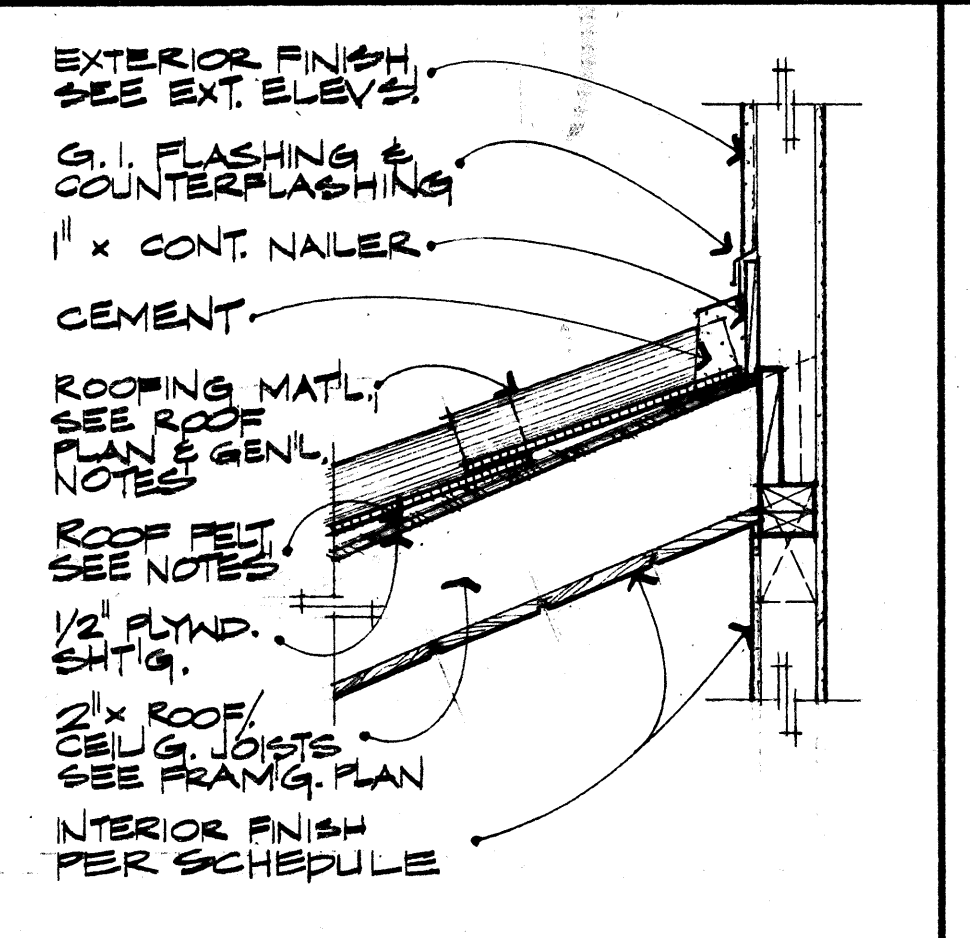
43 PURLIN BEAM 1/2" = 1'-0"



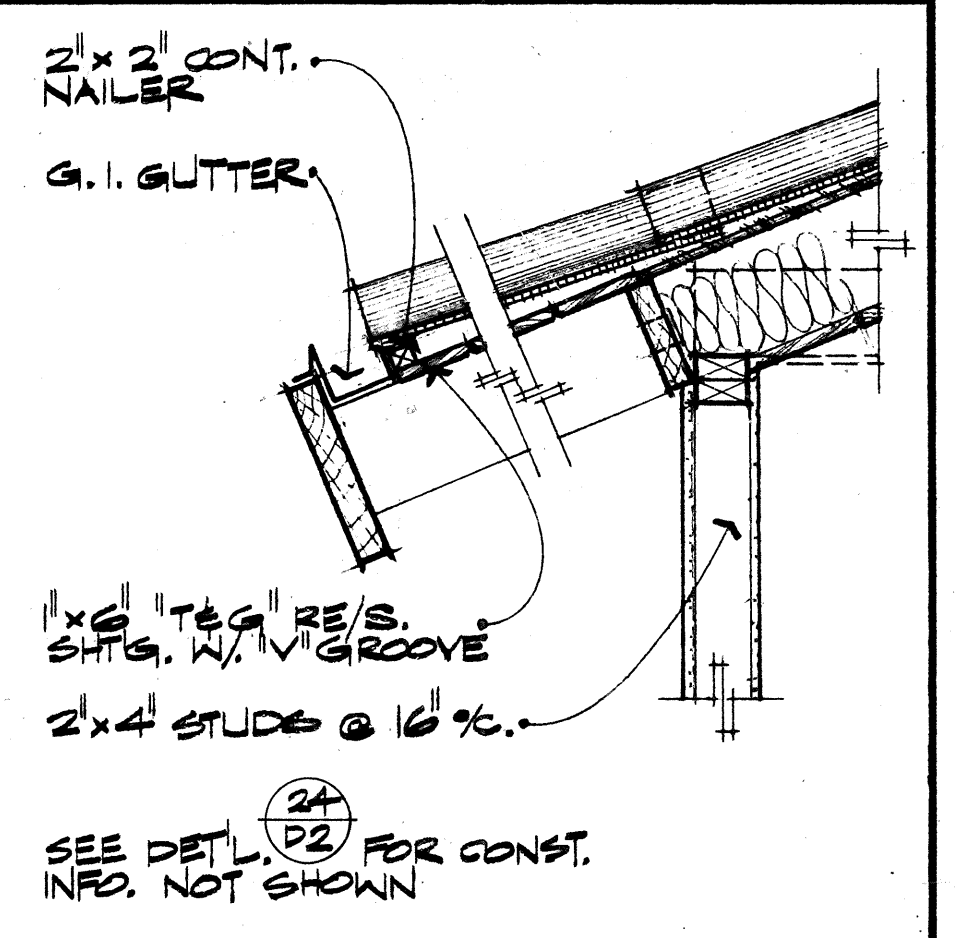
39 PARTIAL SECTION 1/2" = 1'-0"



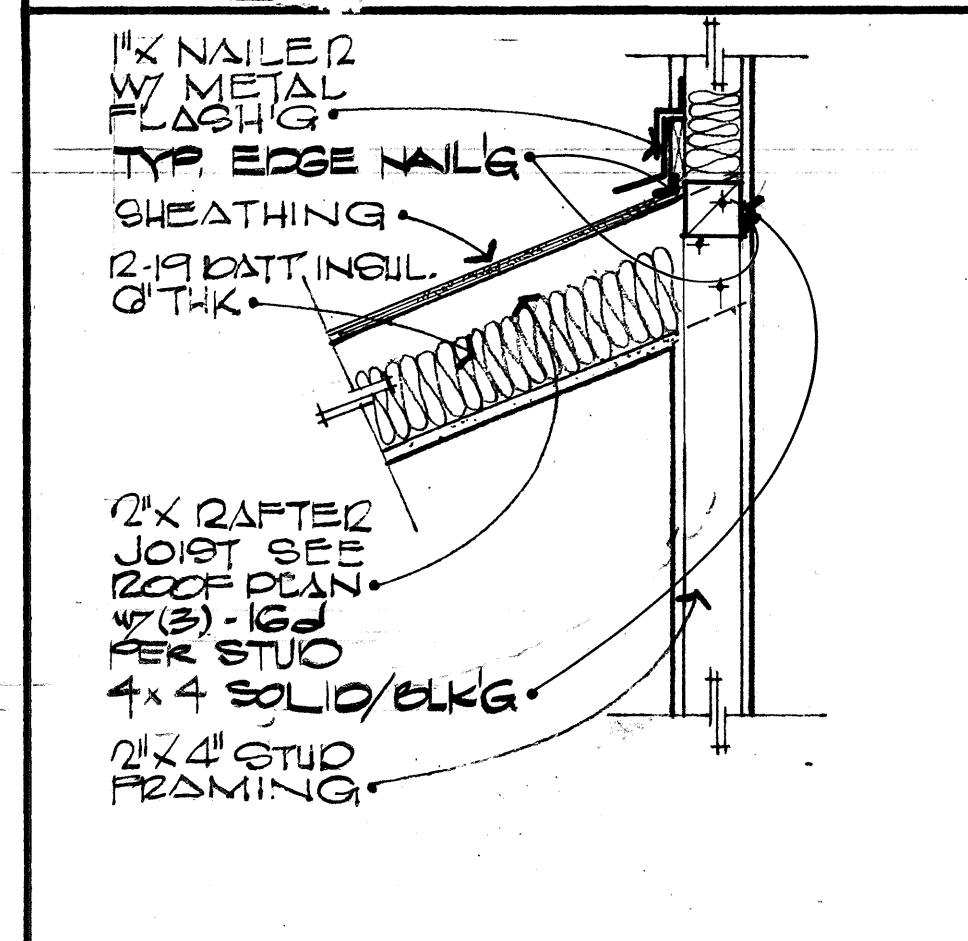
35 SCUPPER DETAIL 1/2" = 1'-0"



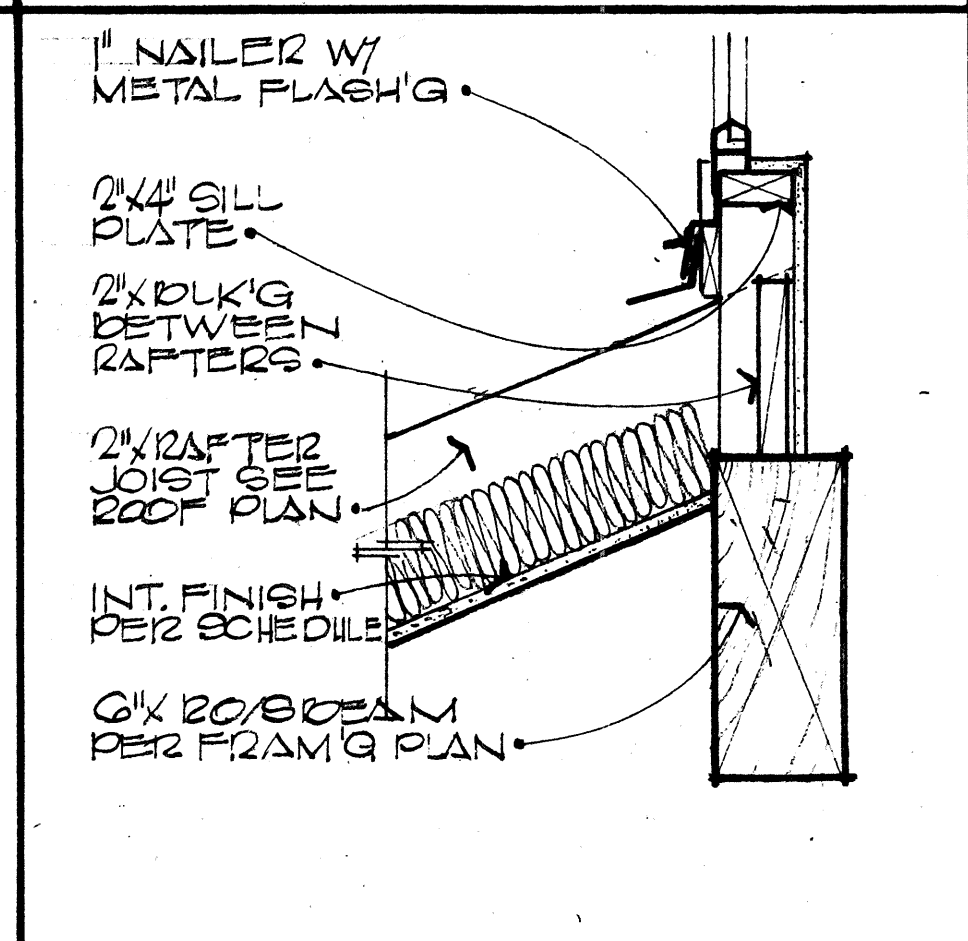
31 ROOF TO WALL 1/2" = 1'-0"



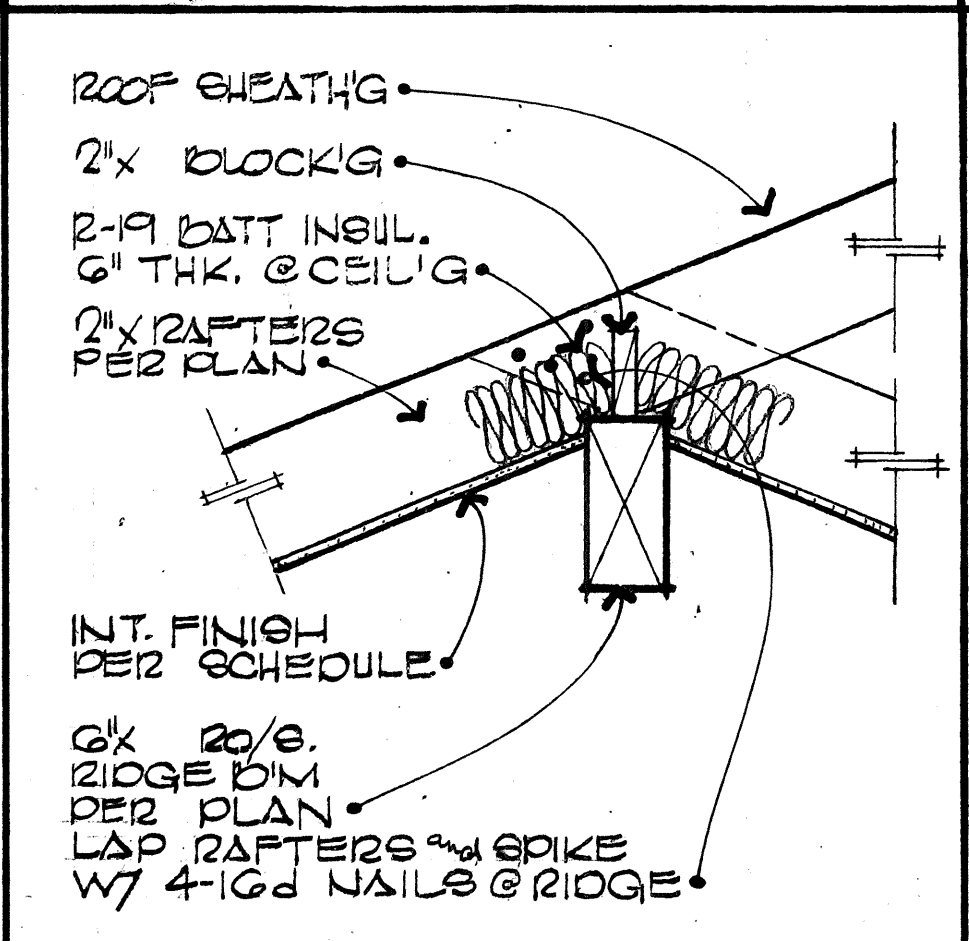
27 EAVE W/ GUTTER 1/2" = 1'-0"



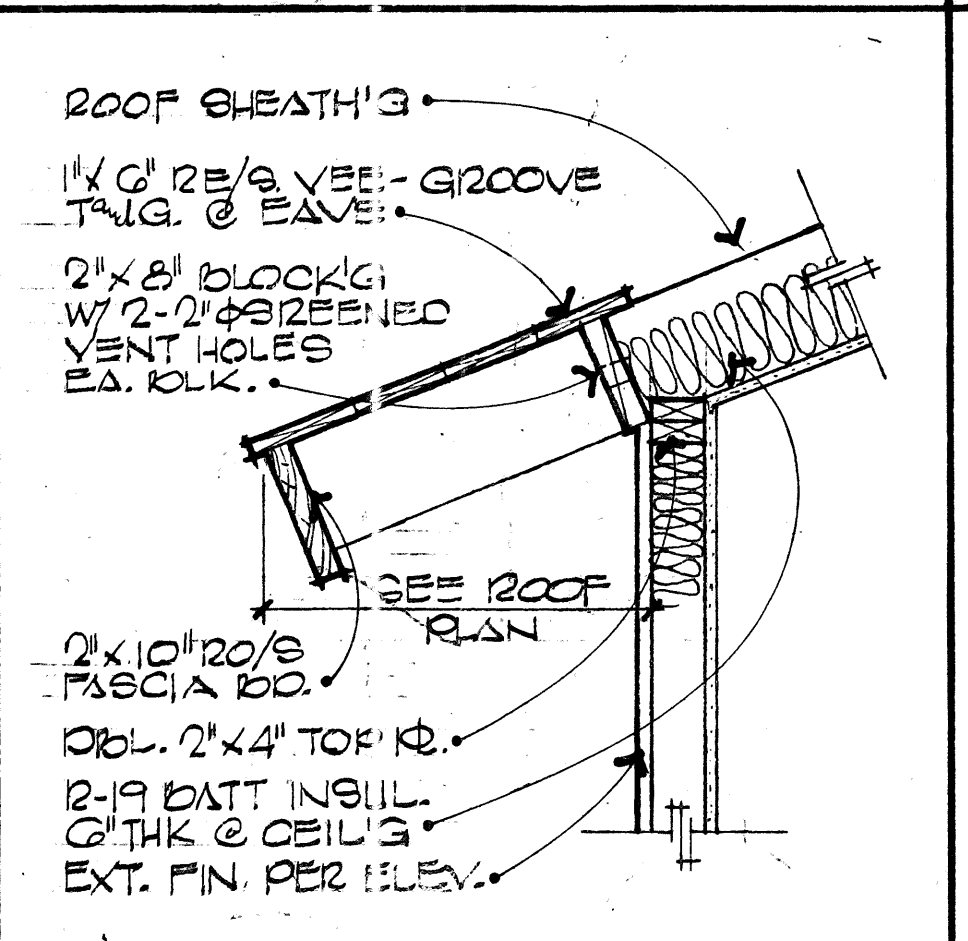
48 ROOF TO WALL 1/2" = 1'-0"



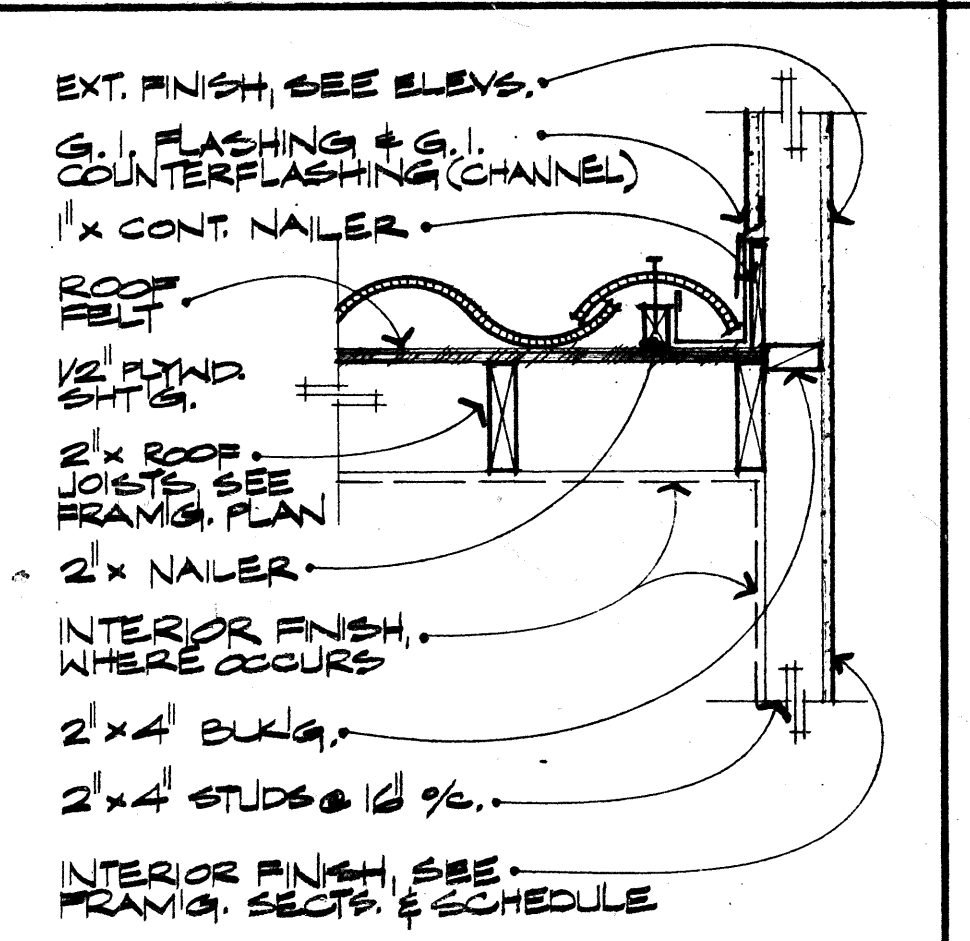
44 ROOF TO WALL 1/2" = 1'-0"



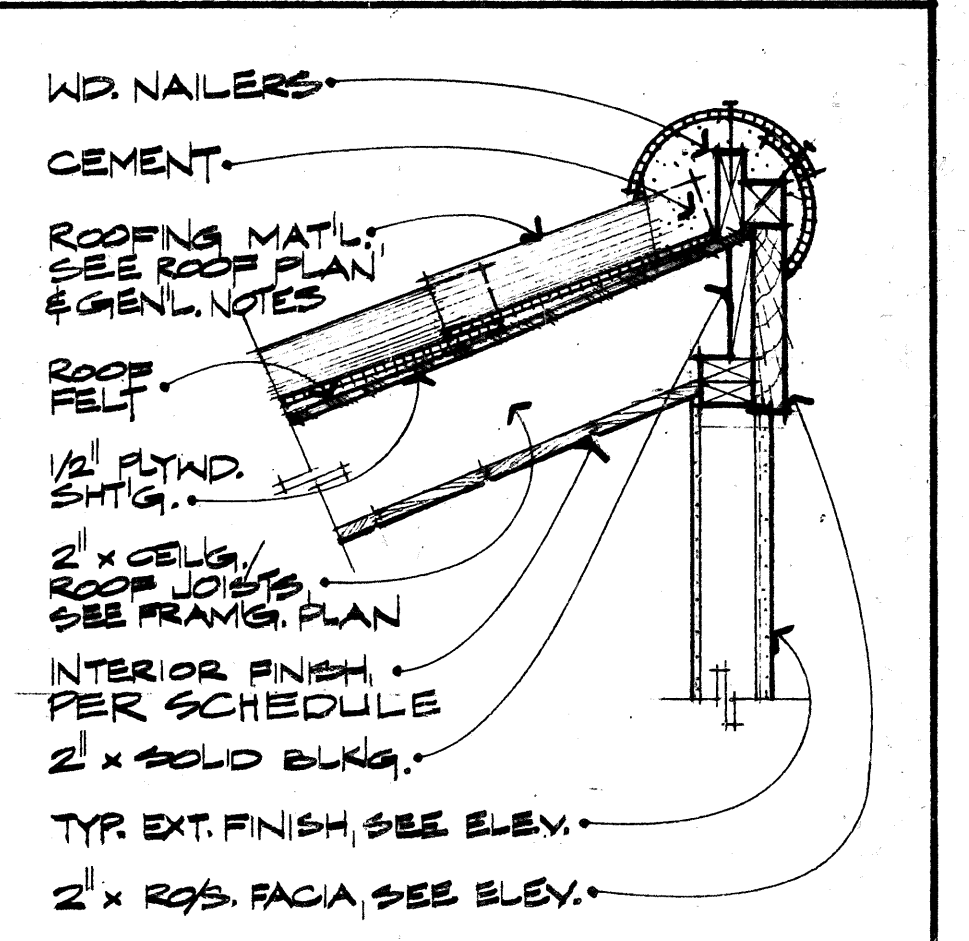
40 FALSE RIDGE BEAM 1/2" = 1'-0"



36 TYP. EAVE 1/2" = 1'-0"



32 ROOF TO WALL 1/2" = 1'-0"



28 FLUSH EAVE 1/2" = 1'-0"

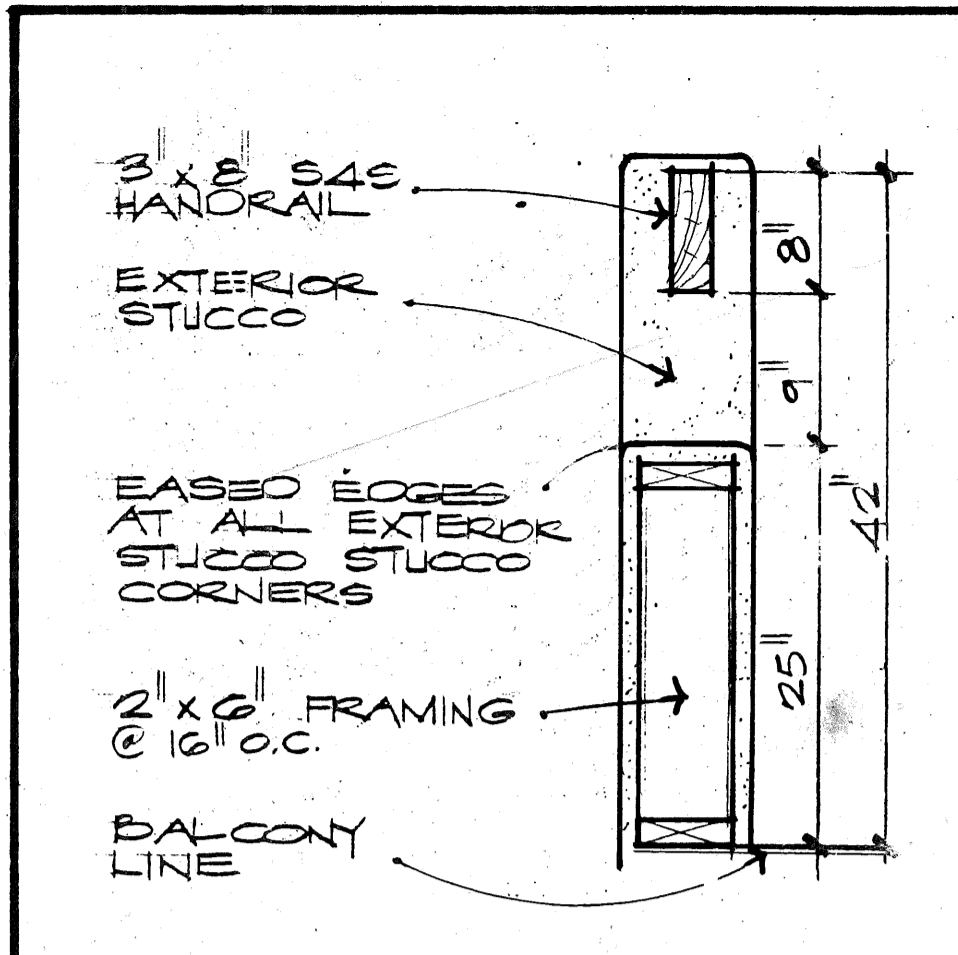
CR DESIGN
 1000 BUSINESS CENTER DRIVE
 HOUSTON, TEXAS 77057
 PHONE 713-552-5511
 SUITE 245 (713) 752-8717

REMOVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.

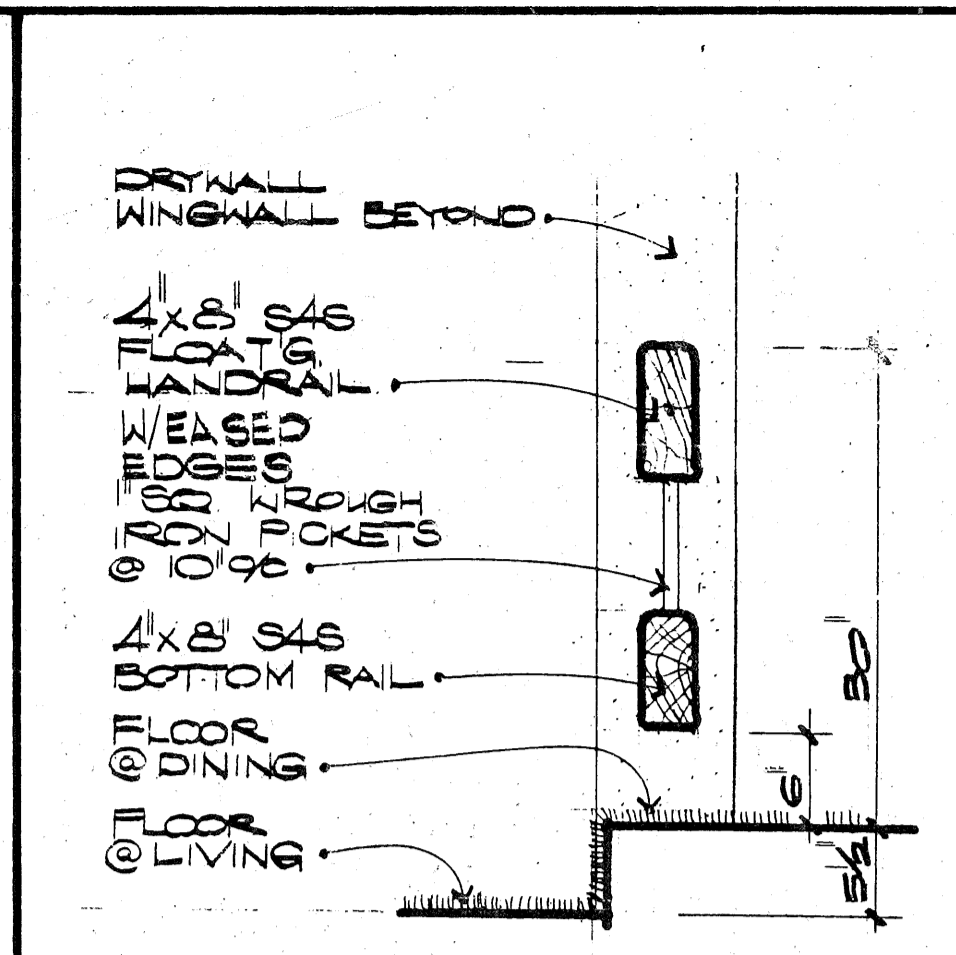
FOR CONSTRUCTION

DATE NUMBER: _____
 DRAWN BY: _____
 REVISIONS: _____

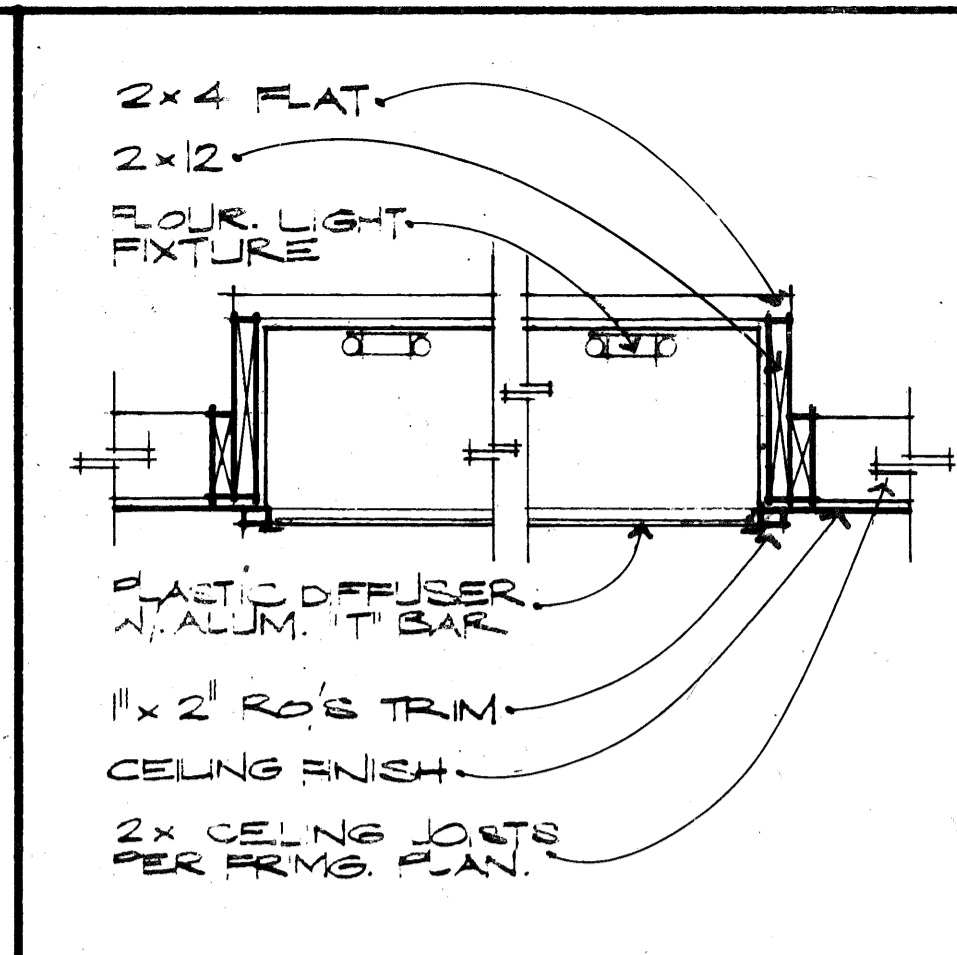
SHEET NUMBER **D-2**



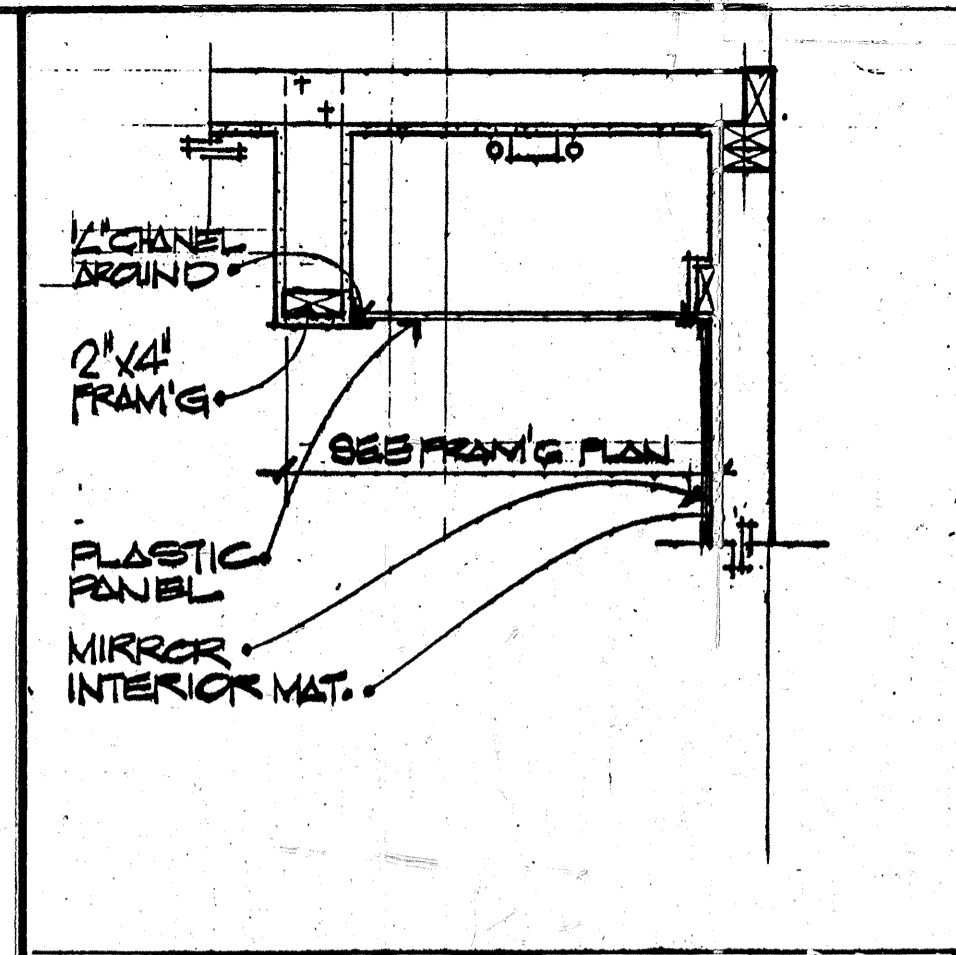
69 DECK HANDRAIL
SC: 1"=1'-0"



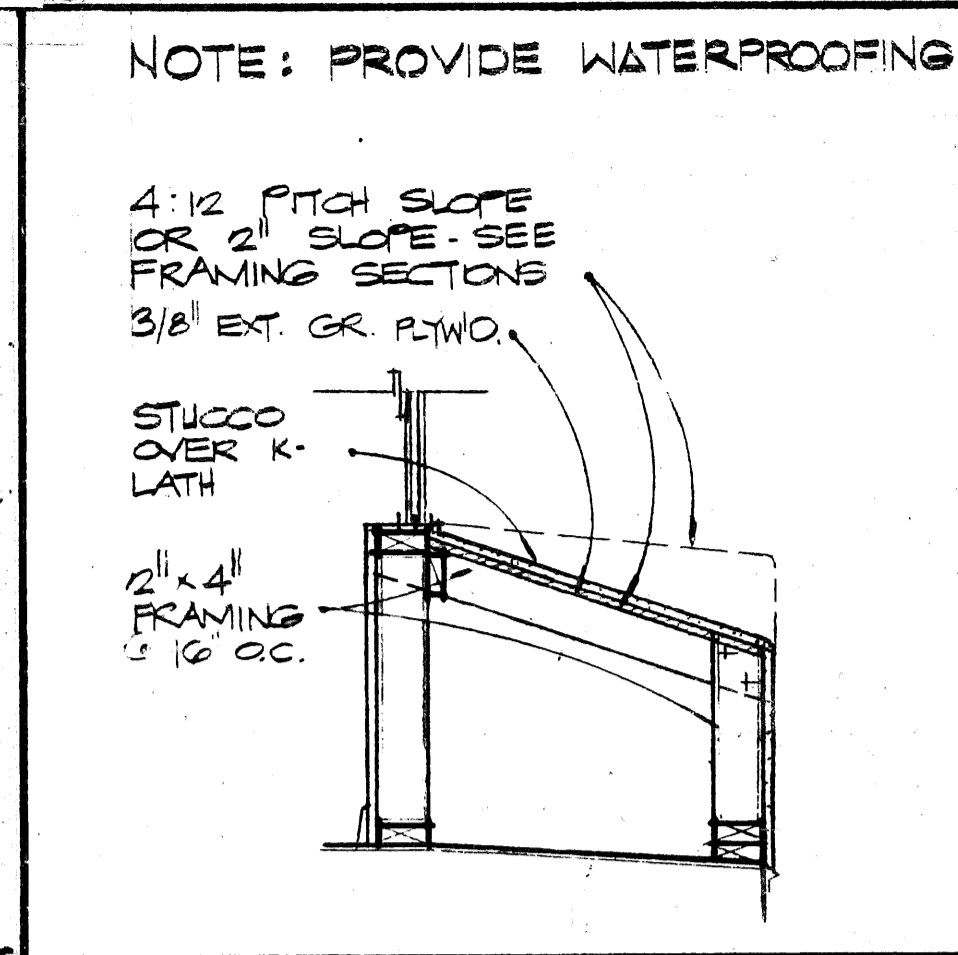
65 INTERIOR HANDRAIL
SC: 1"=1'-0"



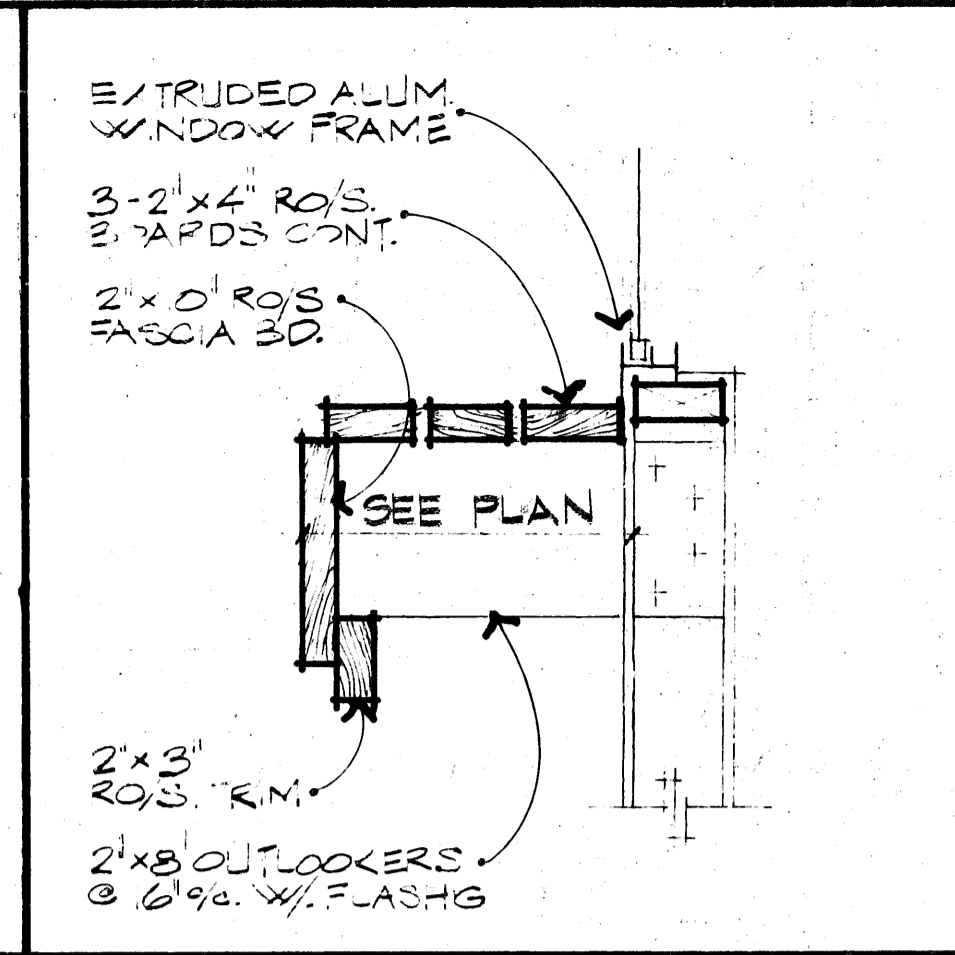
61 LUMINOUS CEILING
SC: 1"=1'-0"



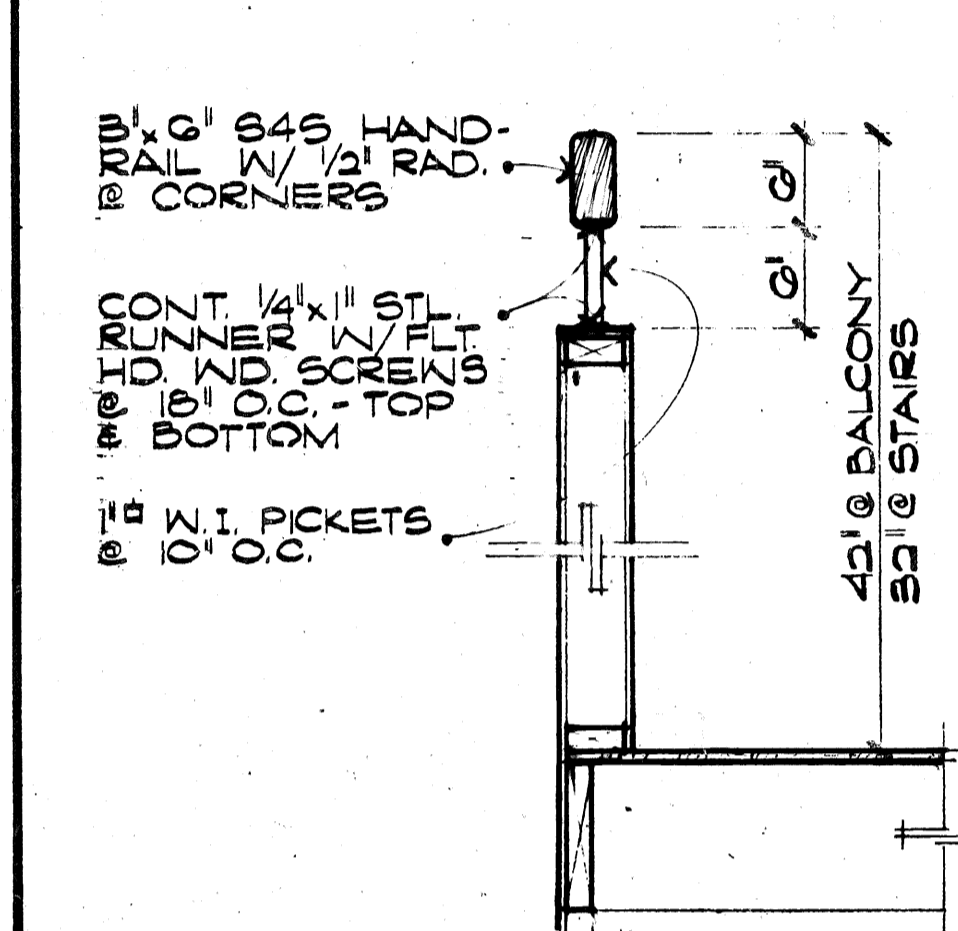
57 LUMINOUS SOFFIT
SC: 1"=1'-0"



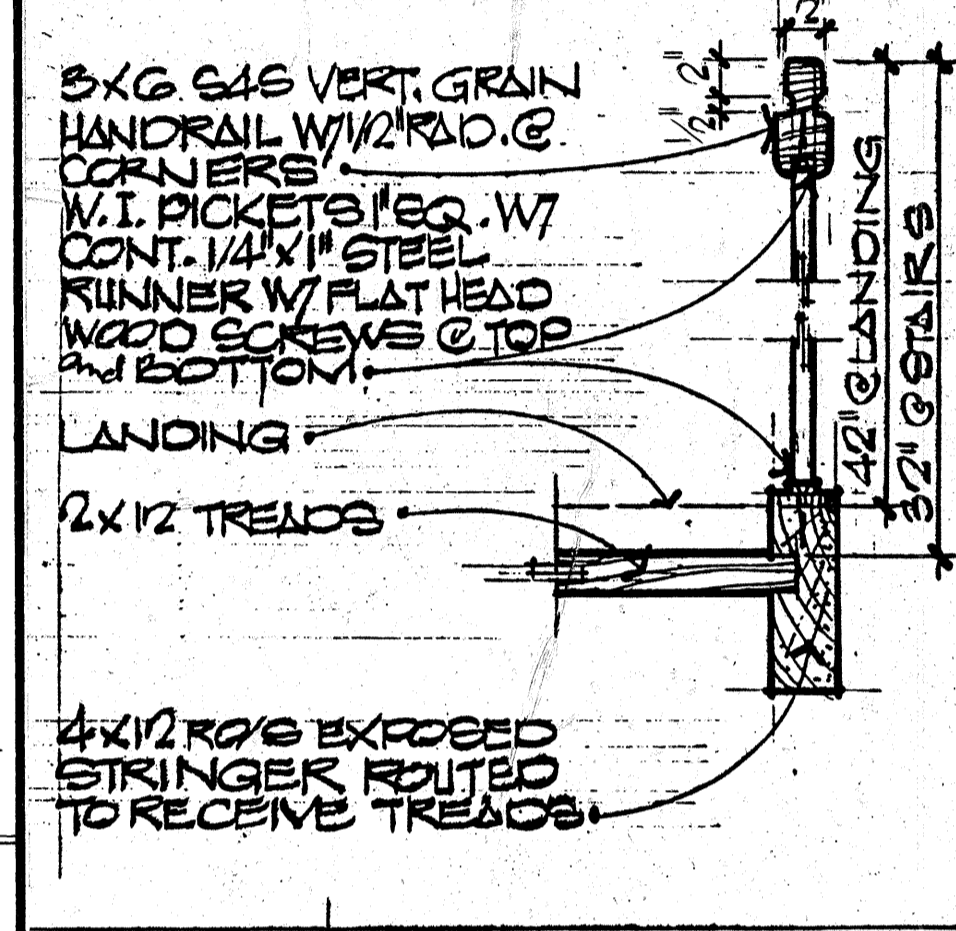
53 STUCCO POTSHELF
SC: 3/4"=1'-0"



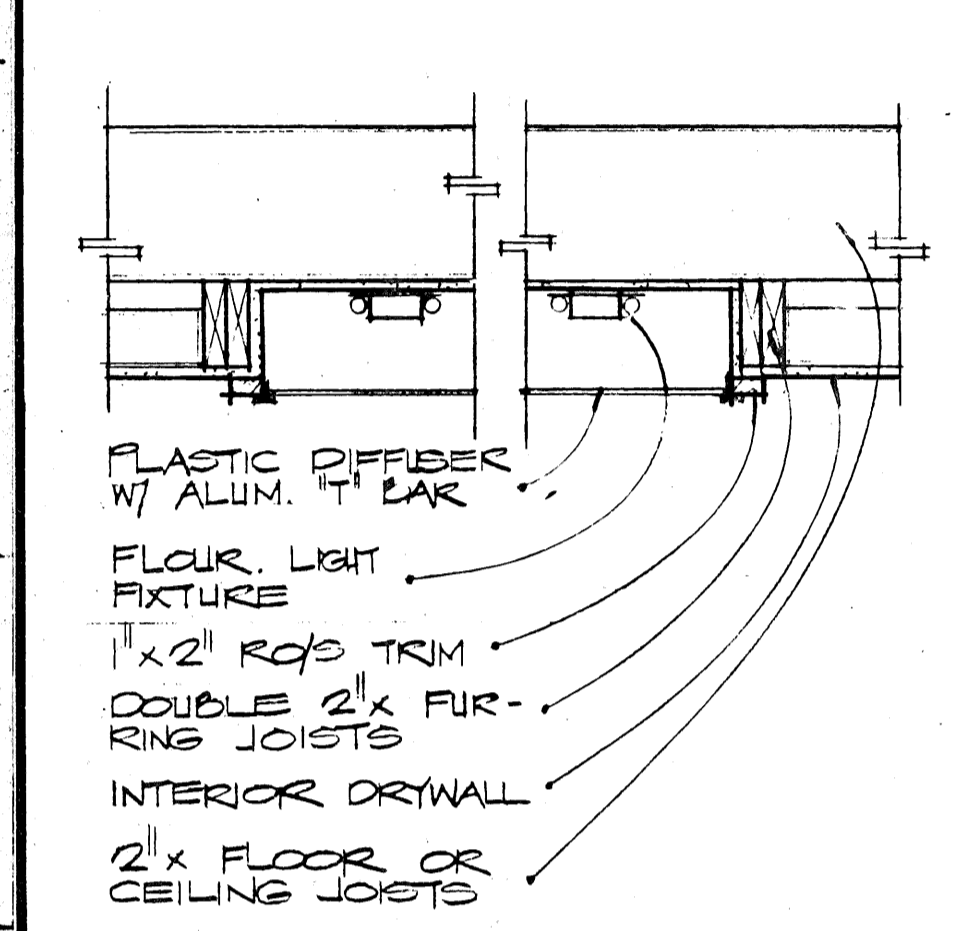
49 WOOD POTSHELF
SC: 1/2"=1'-0"



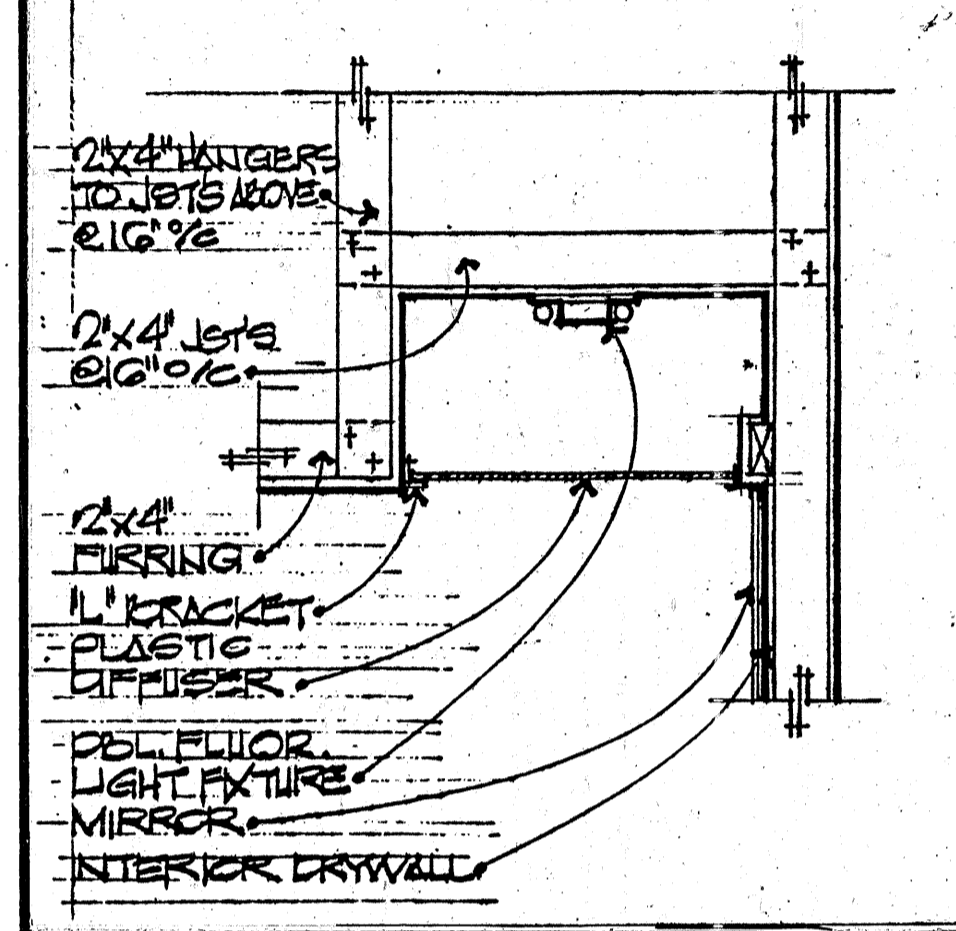
70 HANDRAIL
SC: 1"=1'-0"



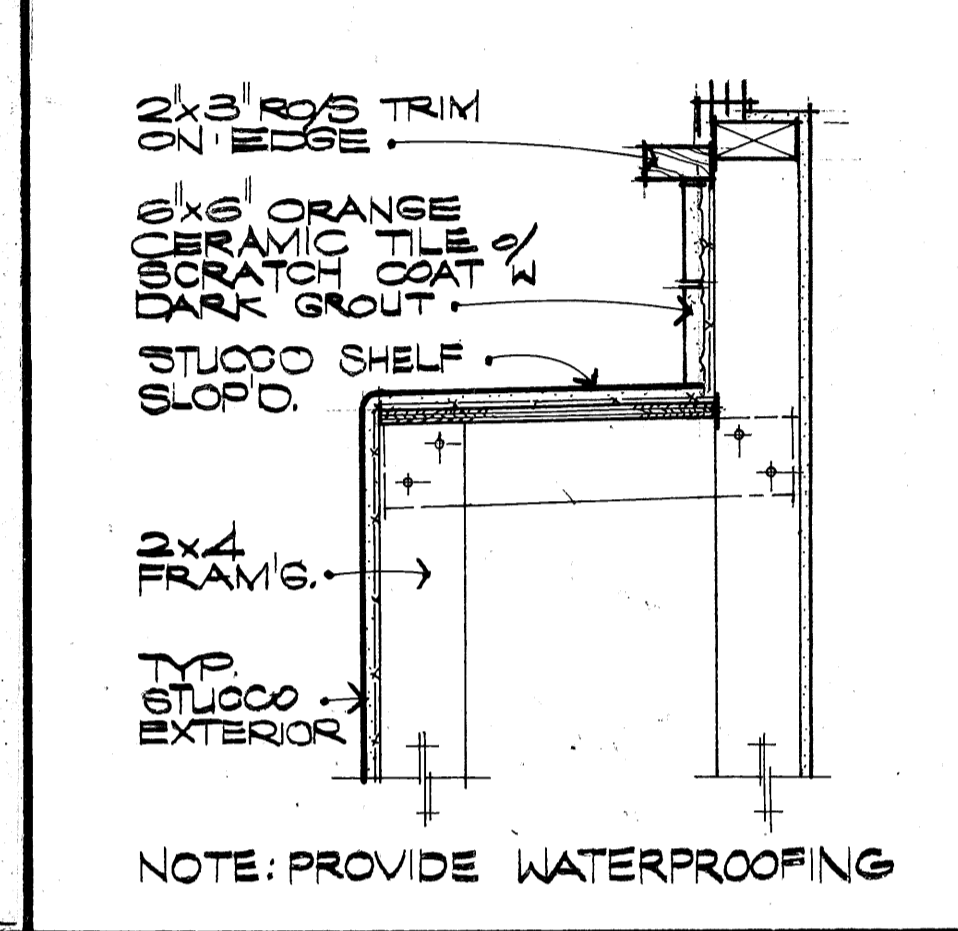
66 WROUGHT IRON HANDRAIL
SC: 1"=1'-0"



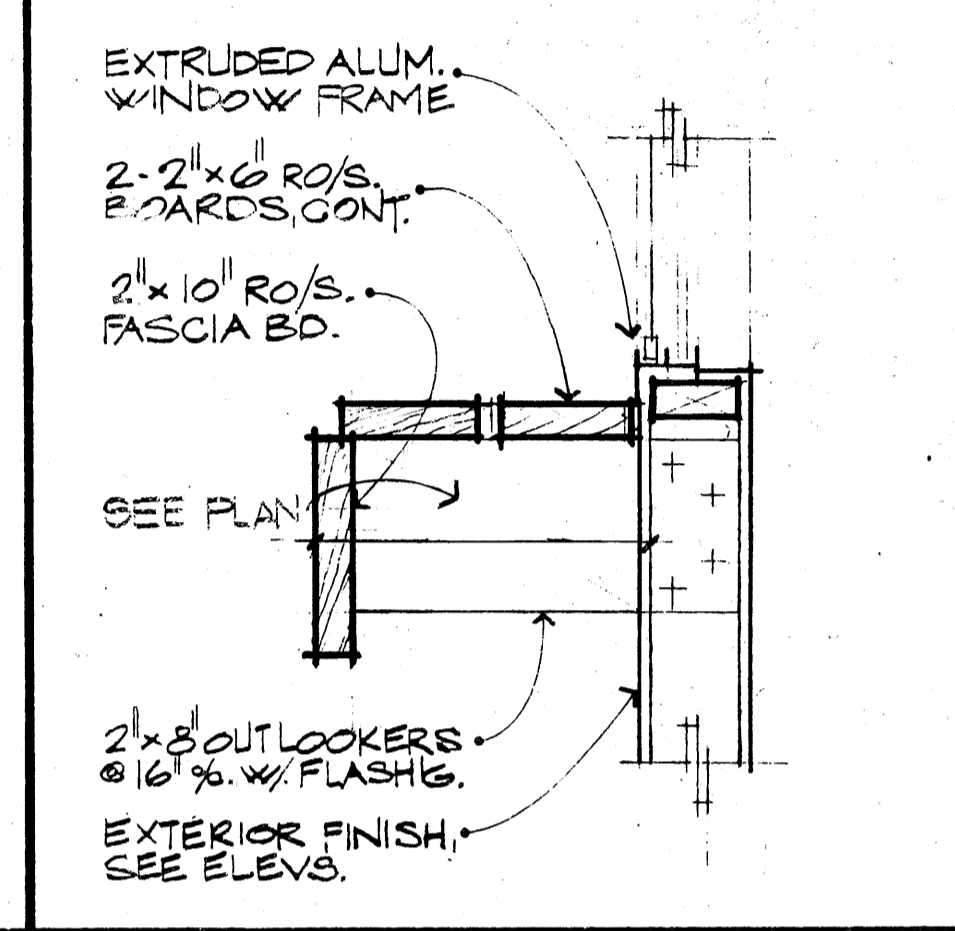
62 LUMINOUS CEILING
SC: 1"=1'-0"



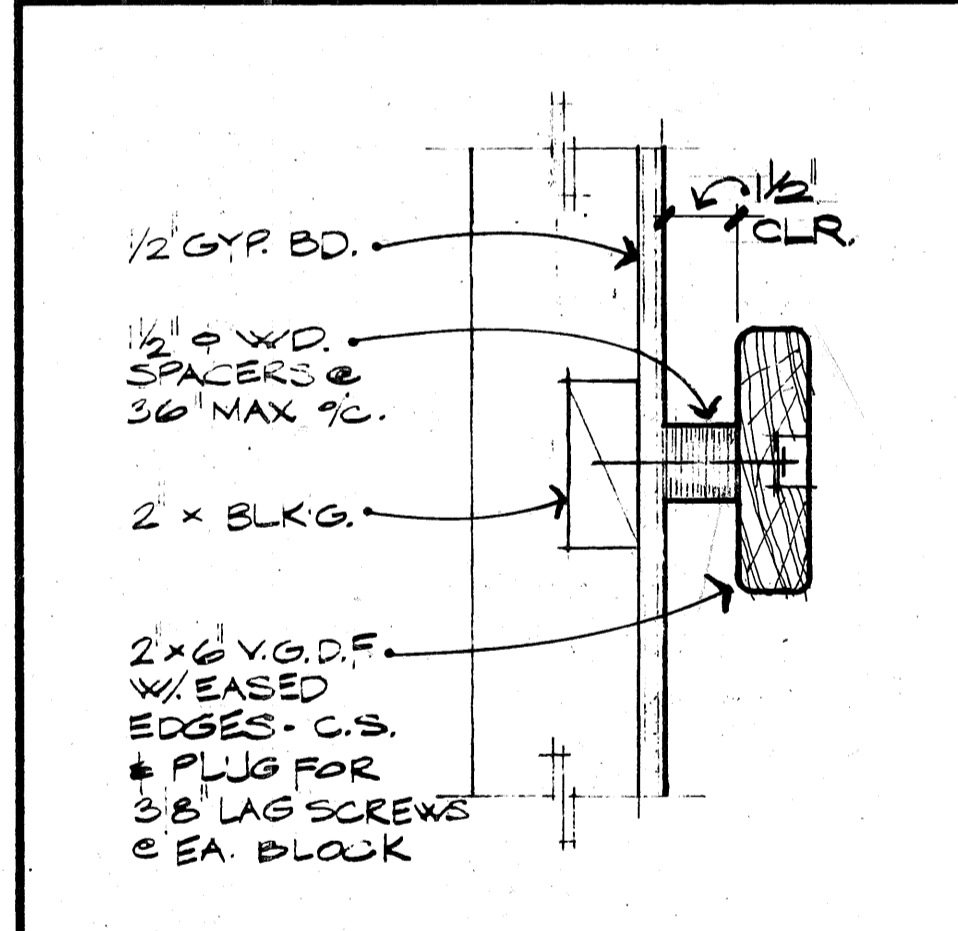
58 LUMINOUS SOFFIT
SC: 1"=1'-0"



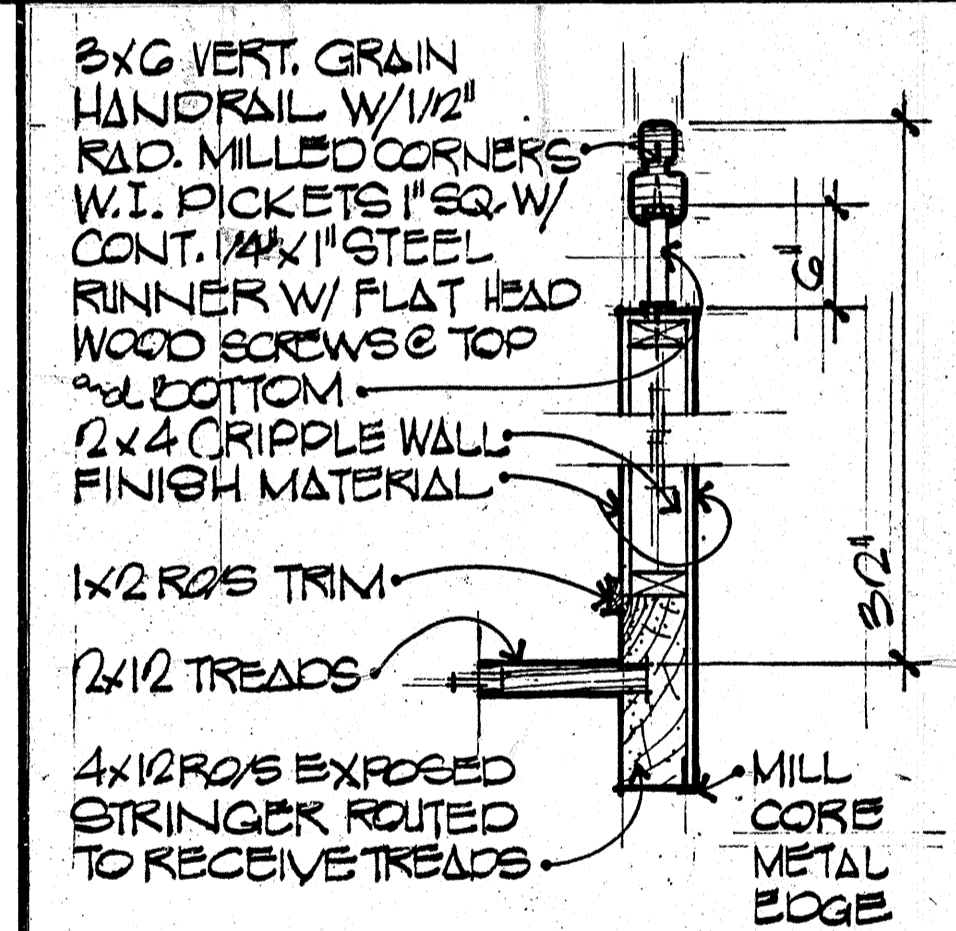
54 CERAMIC TILE @ POTSHELF
SC: 1/2"=1'-0"



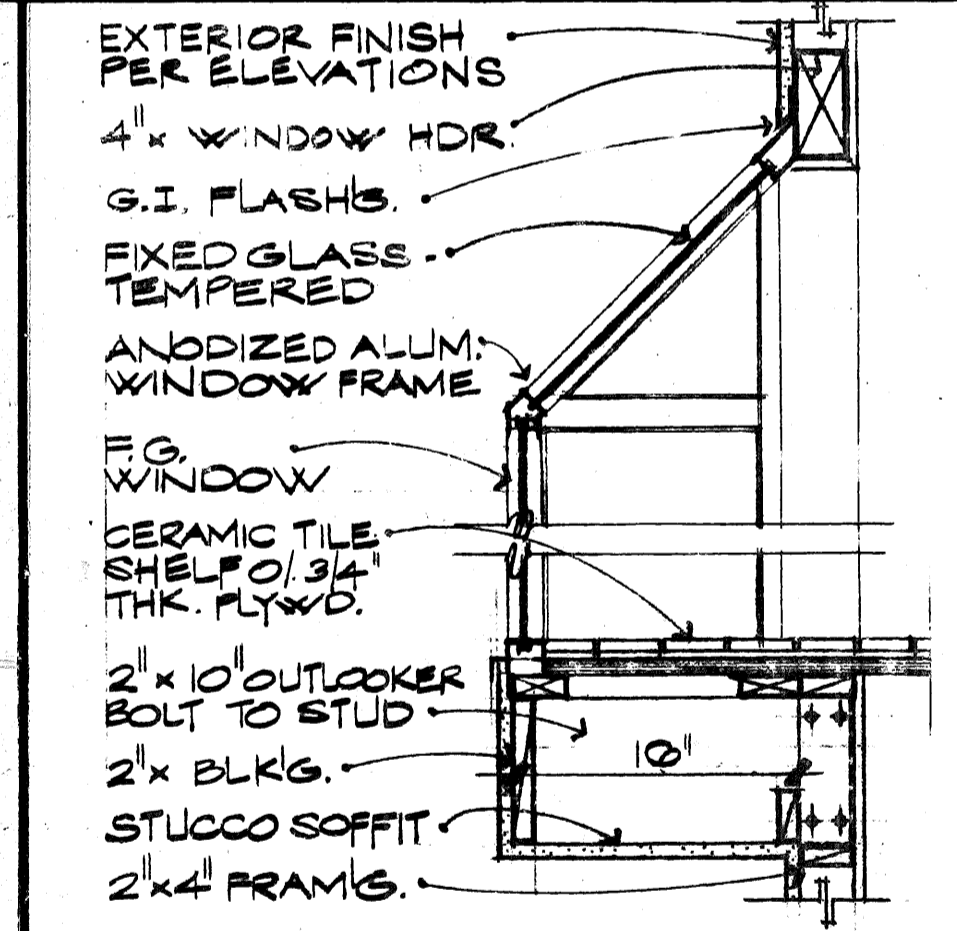
50 WOOD POTSHELF
SC: 1/2"=1'-0"



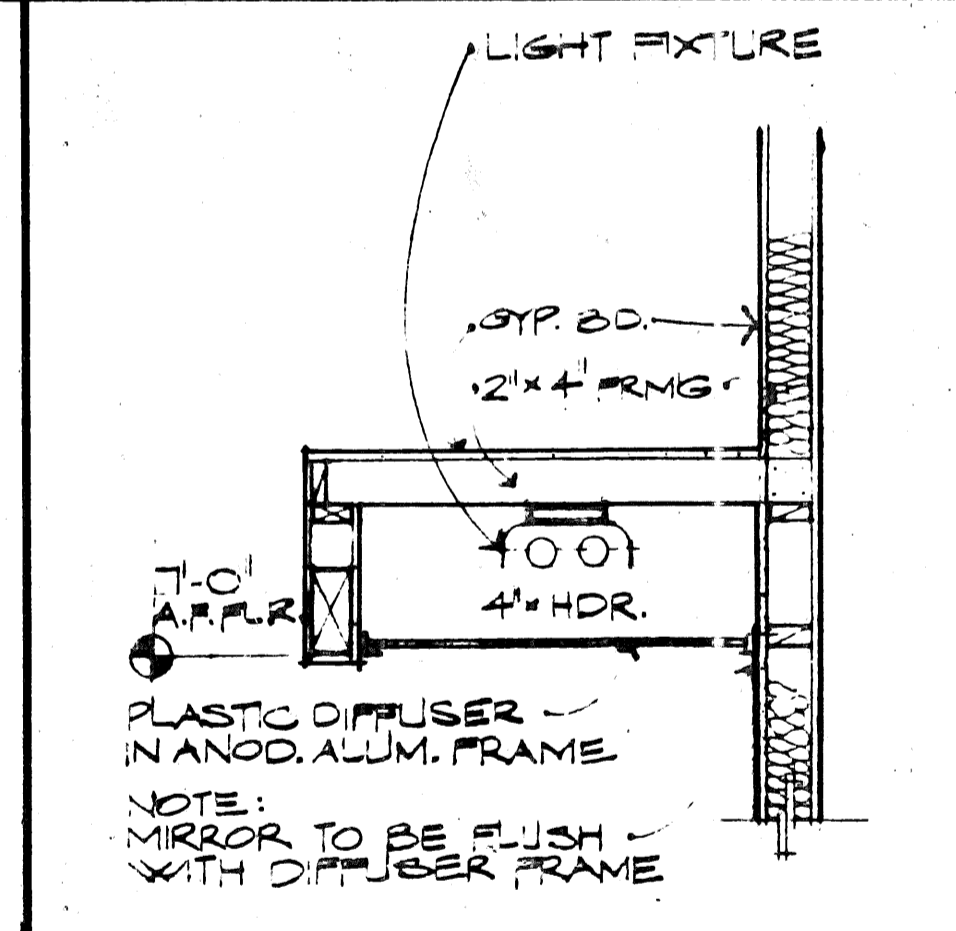
71 HANDRAIL
SC: 3/4"=1'-0"



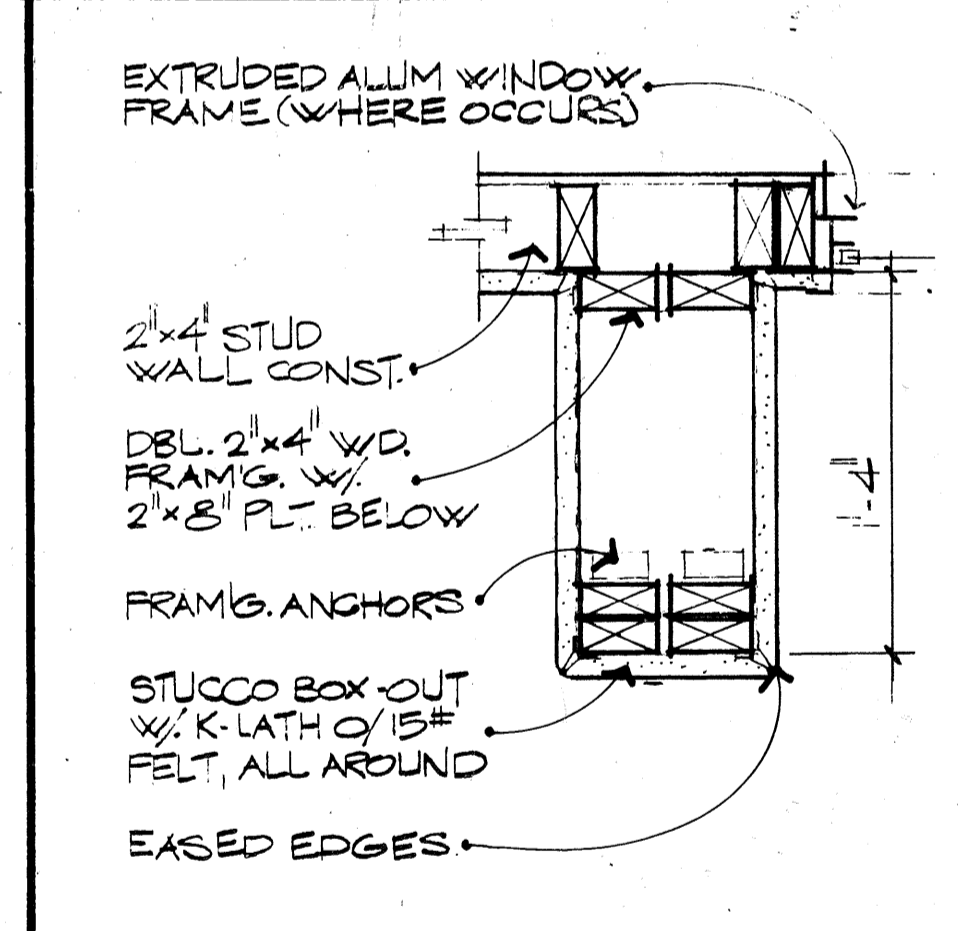
67 OPEN TREAD STAIR
1"=1'-0"



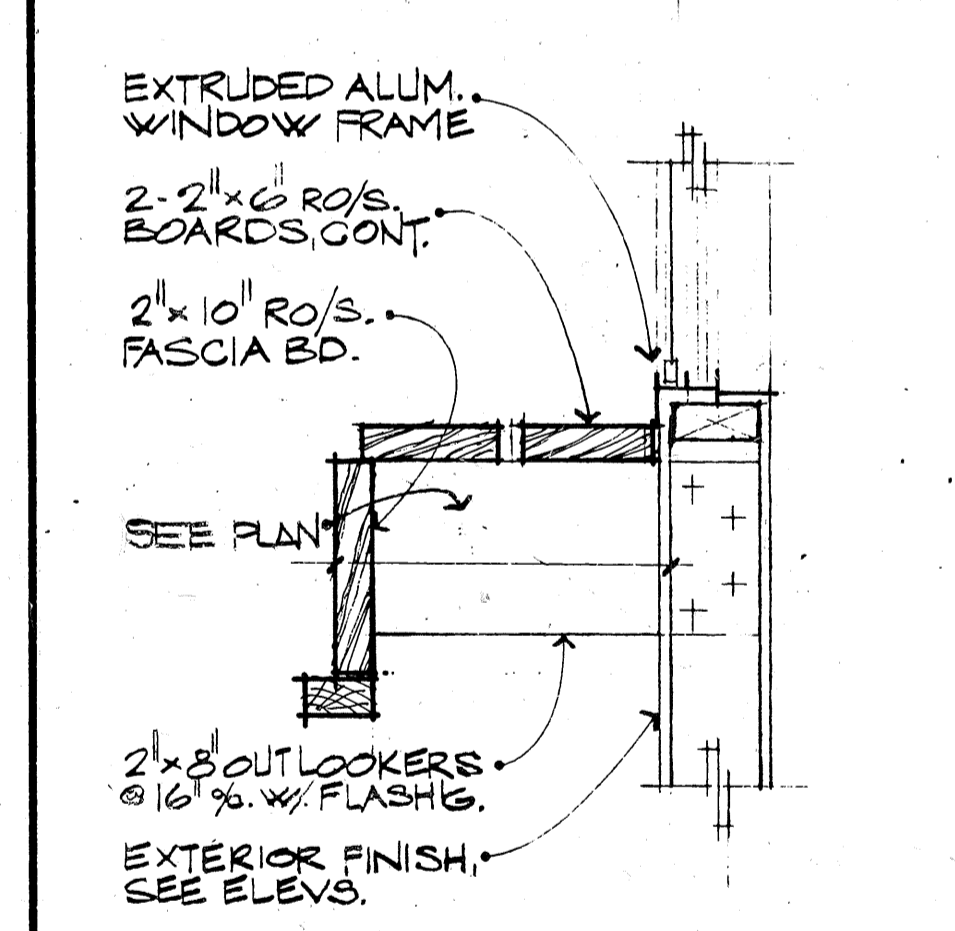
63 GARDEN BAY WINDOW



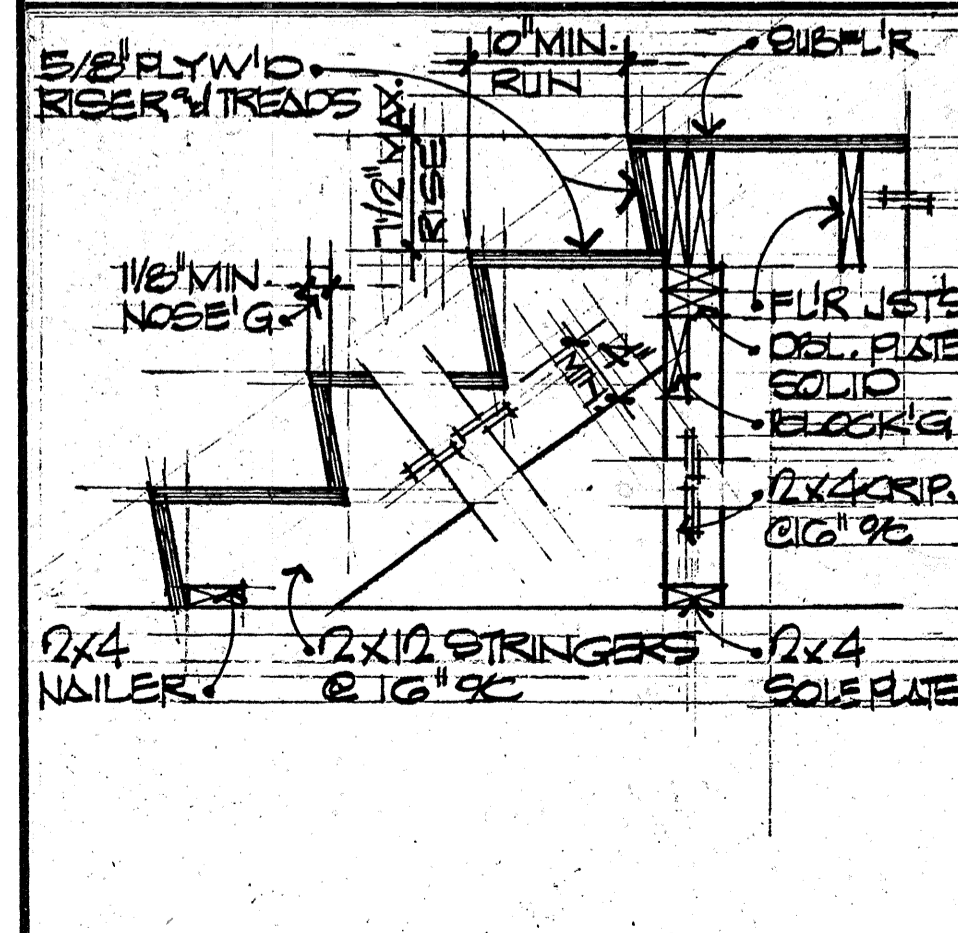
59 LUMINOUS FLOATING SOFFIT
SC: 3/4"=1'-0"



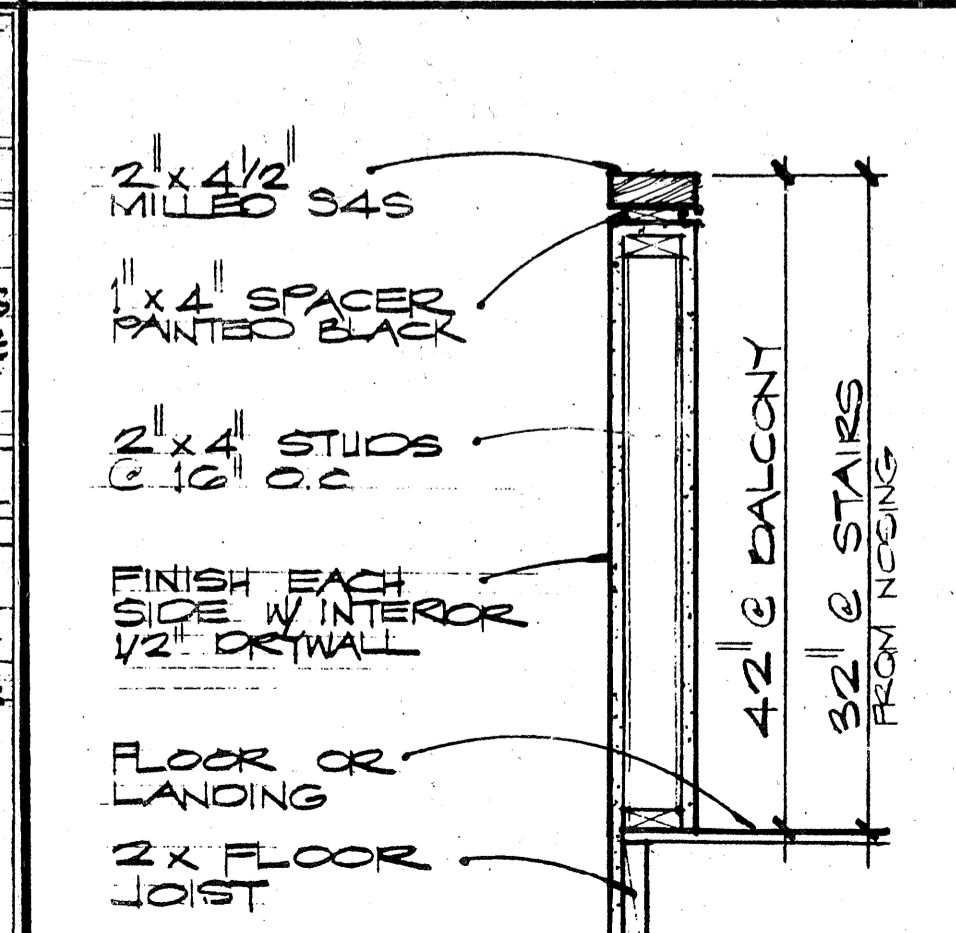
55 STUCCO BOX-OUT
SC: 1/2"=1'-0"



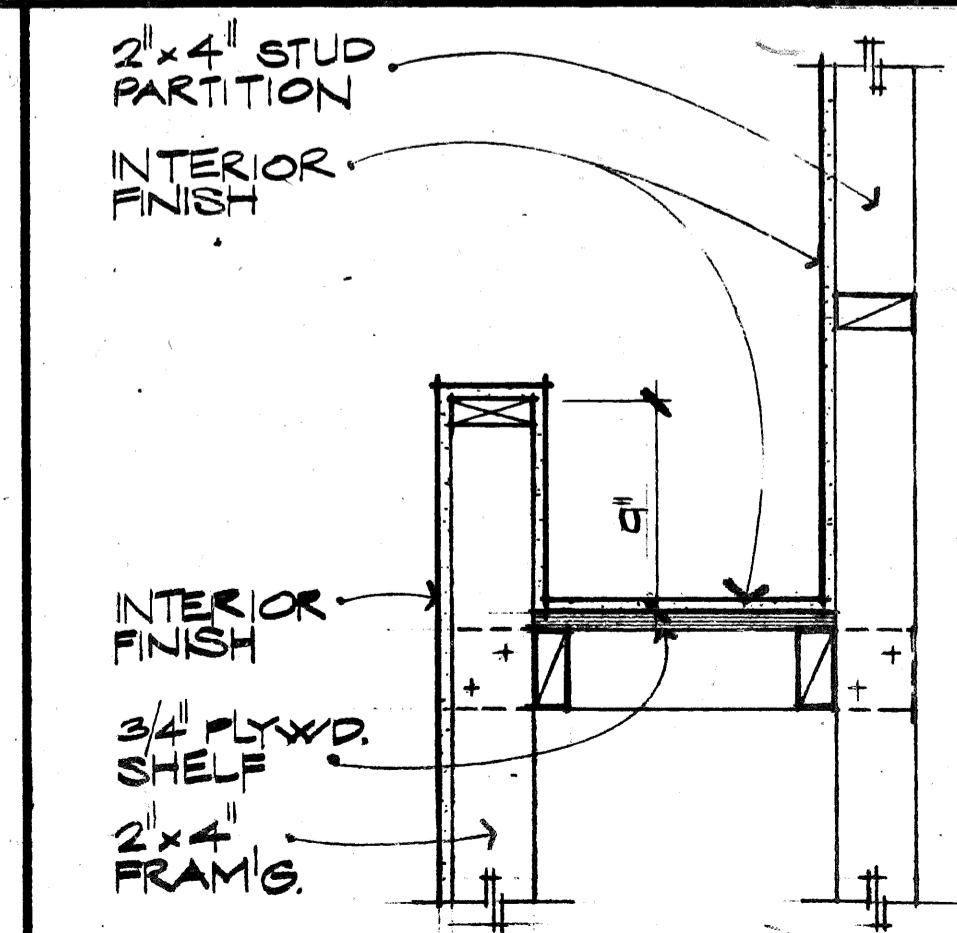
51 WOOD POTSHELF
SC: 1/2"=1'-0"



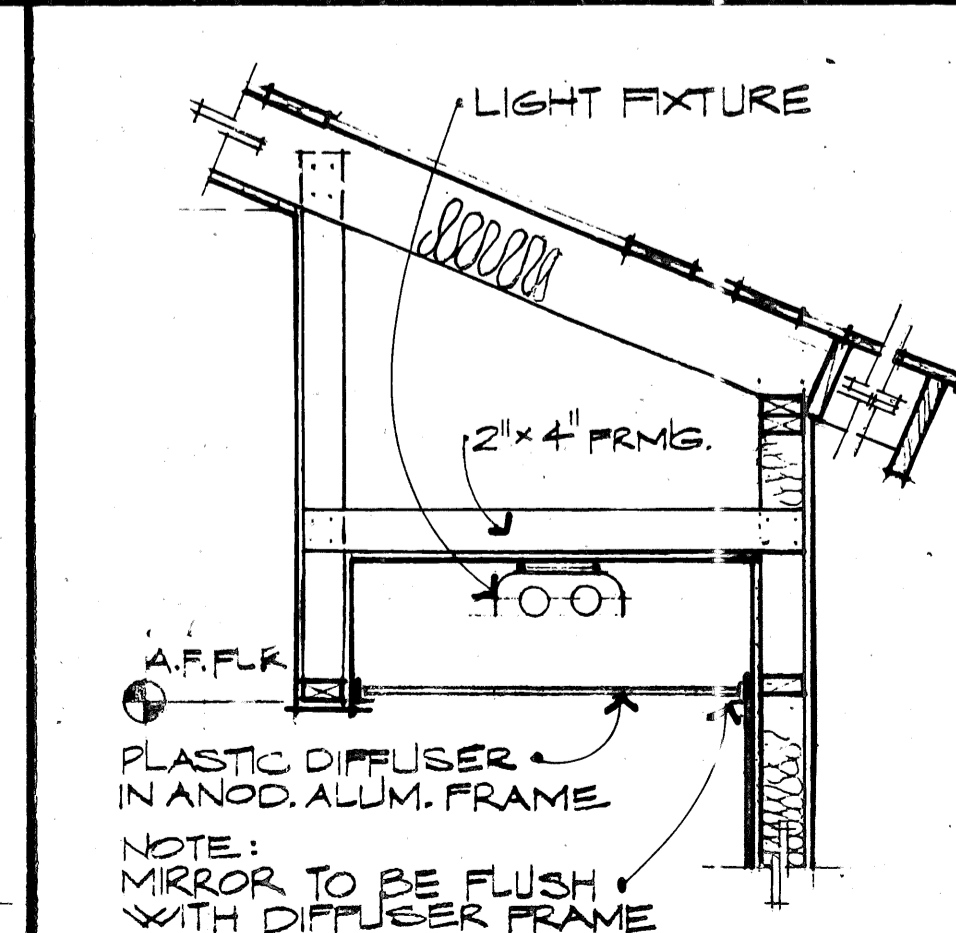
72 TYP STAIR
SC: 1"=1'-0"



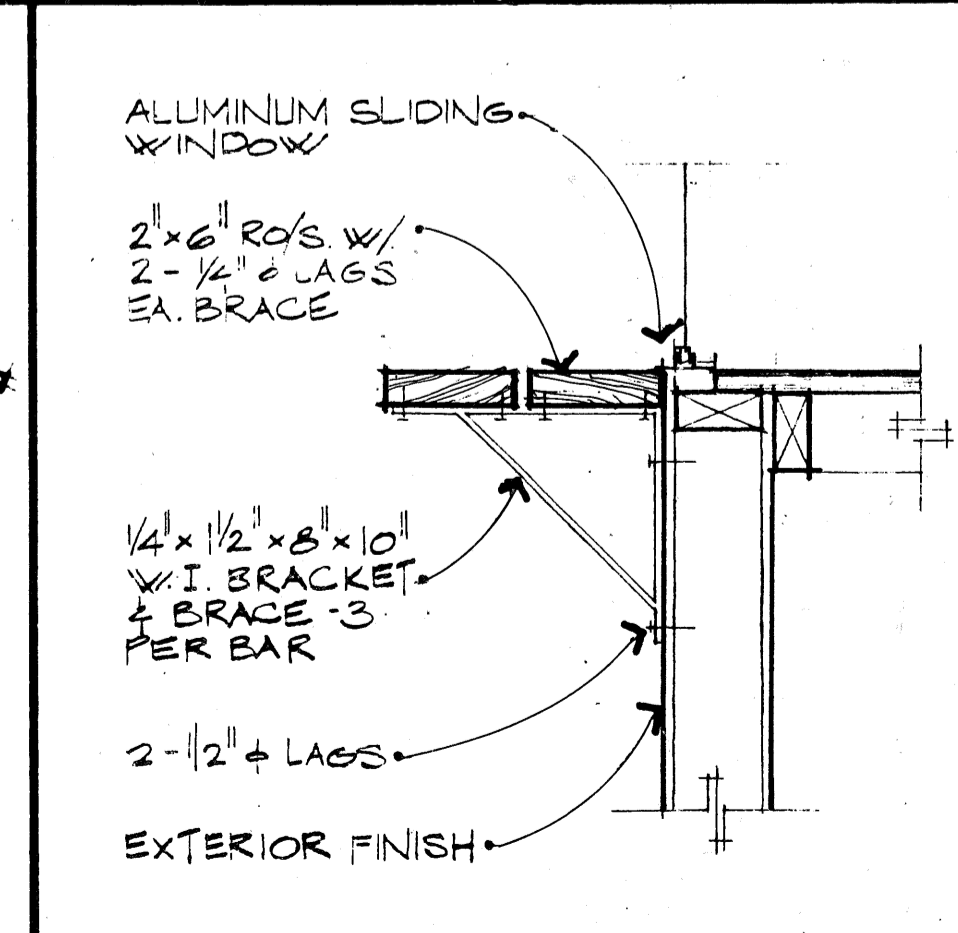
68 HANDRAIL
SC: 1"=1'-0"



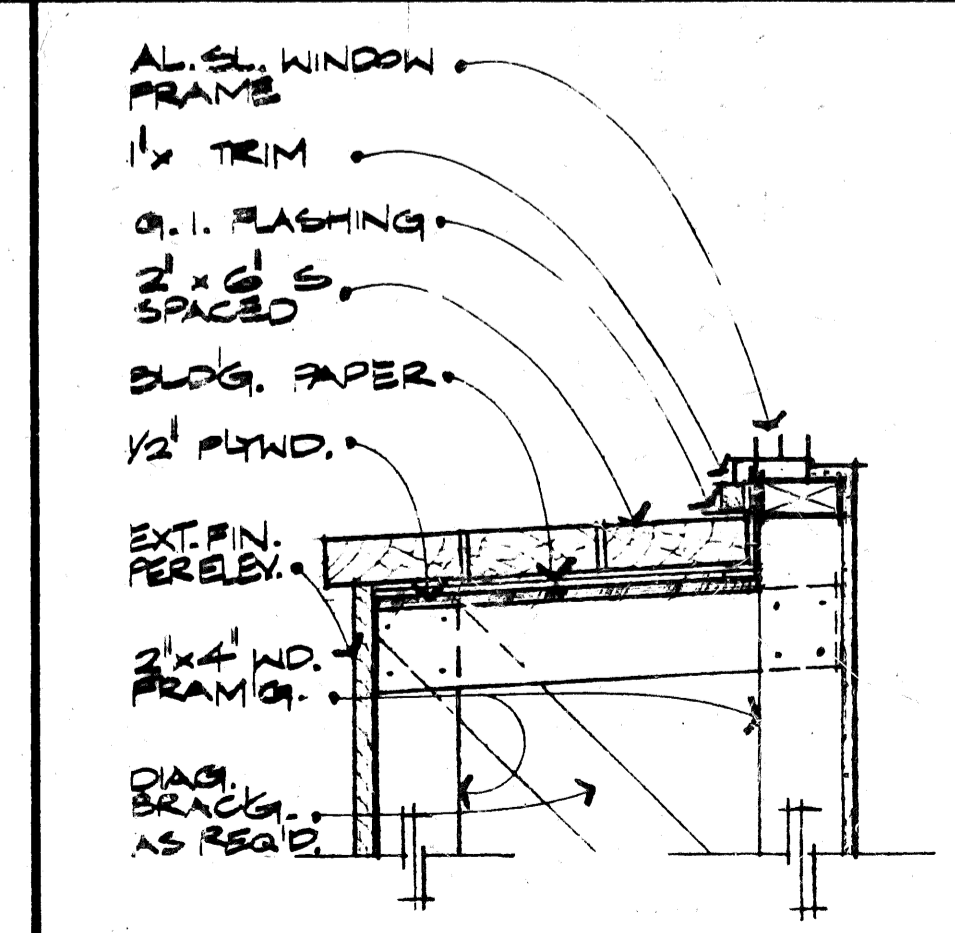
64 PLANTER NICHE
SC: 1/2"=1'-0"



60 LUMINOUS SOFFIT
SC: 3/4"=1'-0"

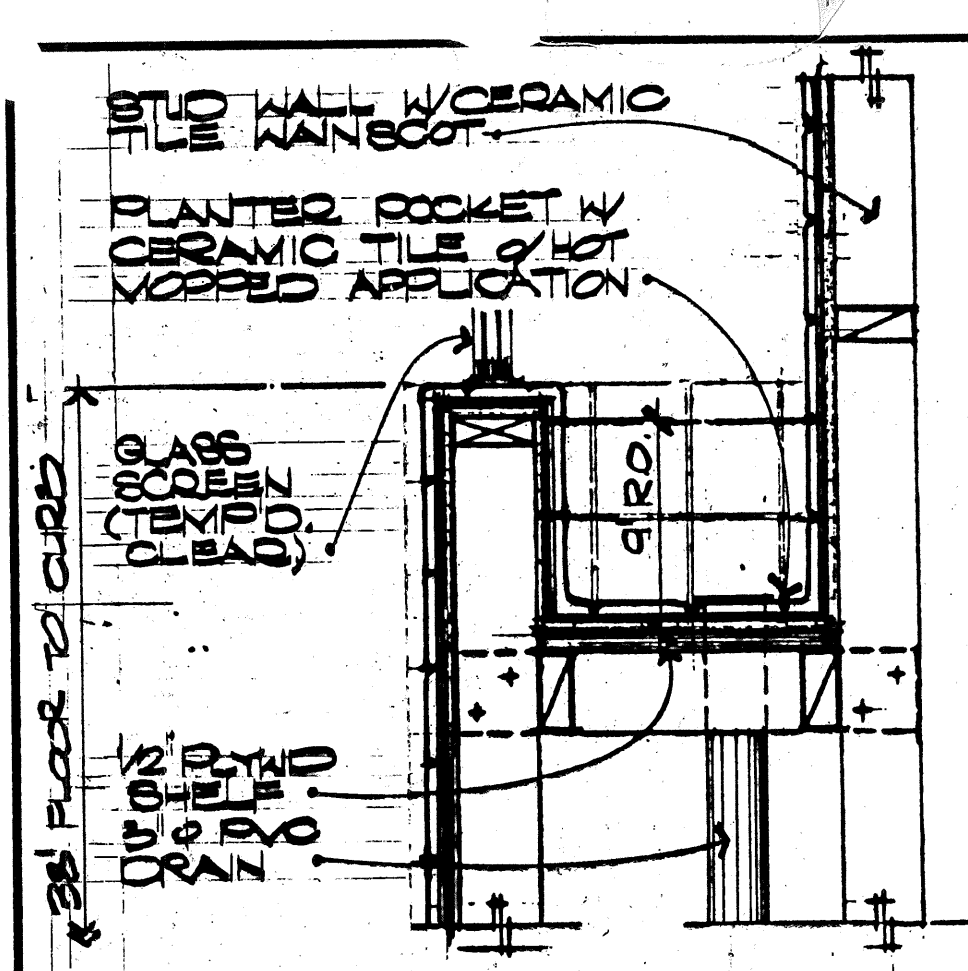


56 PASS-THRU @ KITCHEN
SC: 1/2"=1'-0"

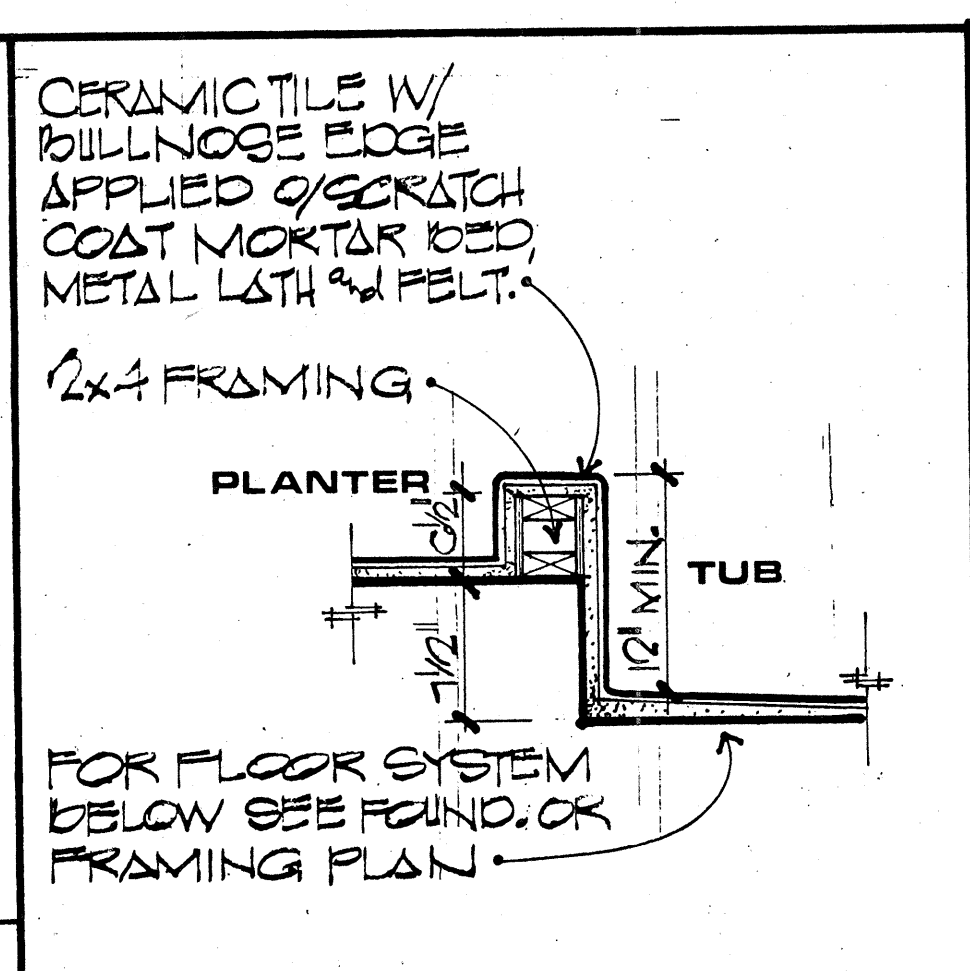


52 WOOD WATERPROOF'D POTSHELF
SC: 1/2"=1'-0"

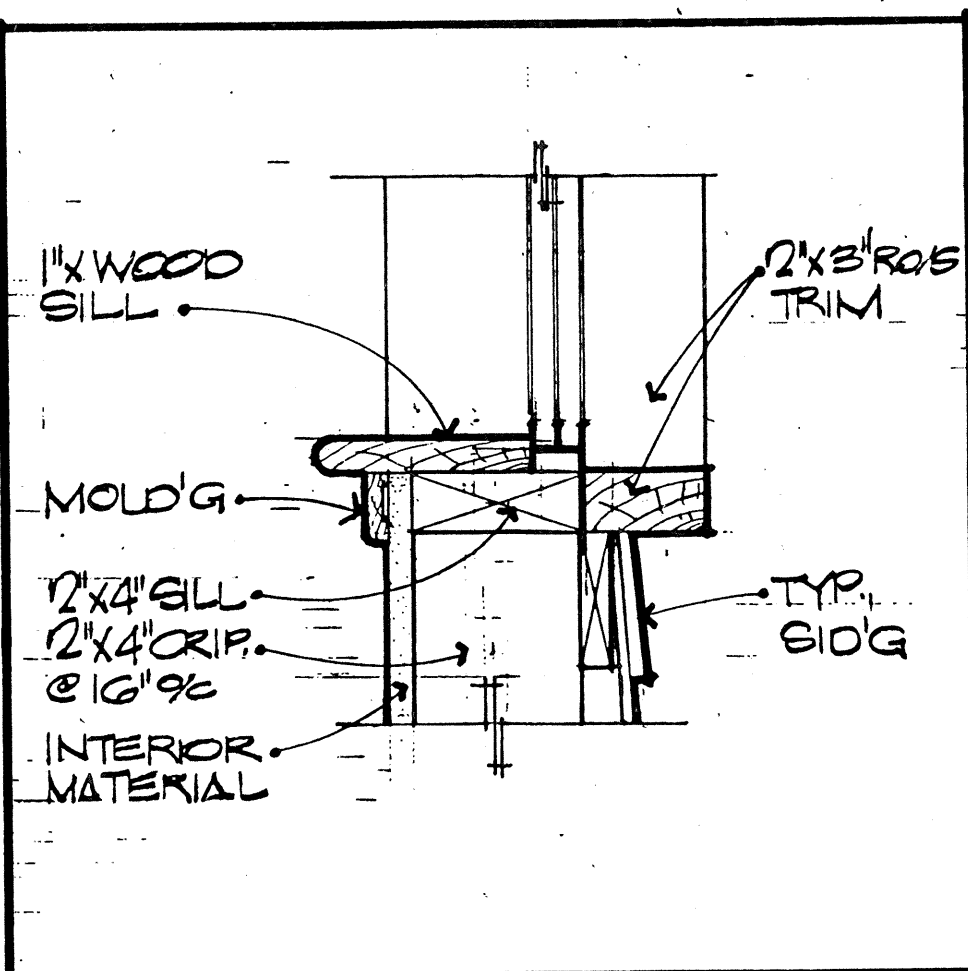
CR DESIGN
 2022 BUSINESS CENTER DRIVE
 SUITE 248
 CHINA, TX 75741
 (714) 792-0713
 DATE NUMBER: _____
 DRAWN BY: _____
 REVISIONS: _____
 RECEIVED THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
FOR CONSTRUCTION
Carroll Creek
 SHEET NUMBER
D-3
 ARCH. & MISC.



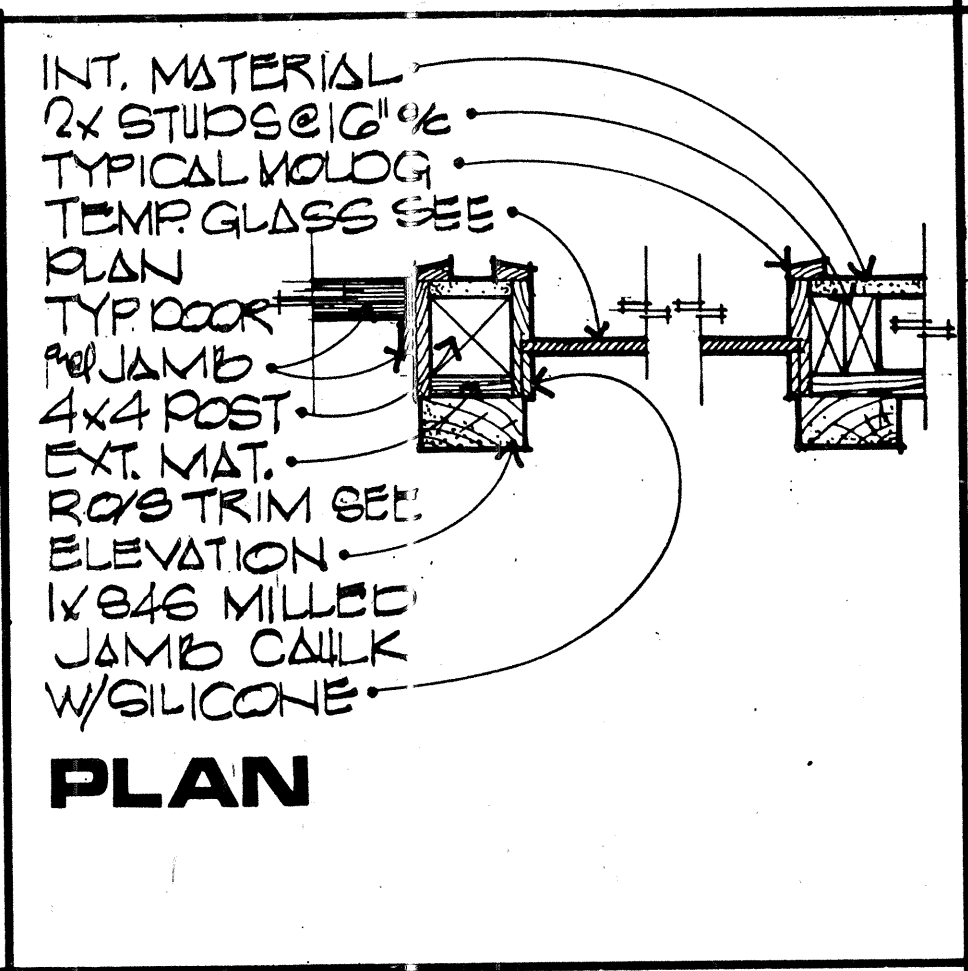
93 CERAMIC TILE PLANTER 1/2"=1'-0"



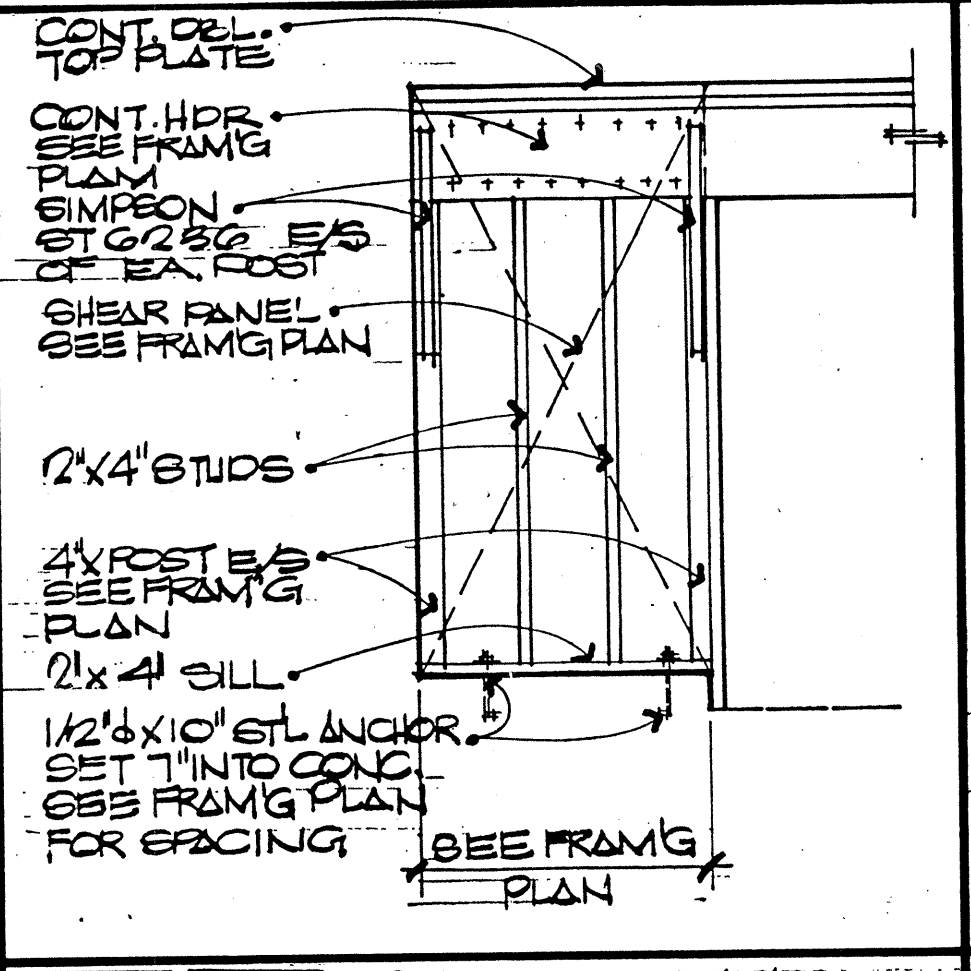
89 TUB TO PLANTER 1/2"=1'-0"



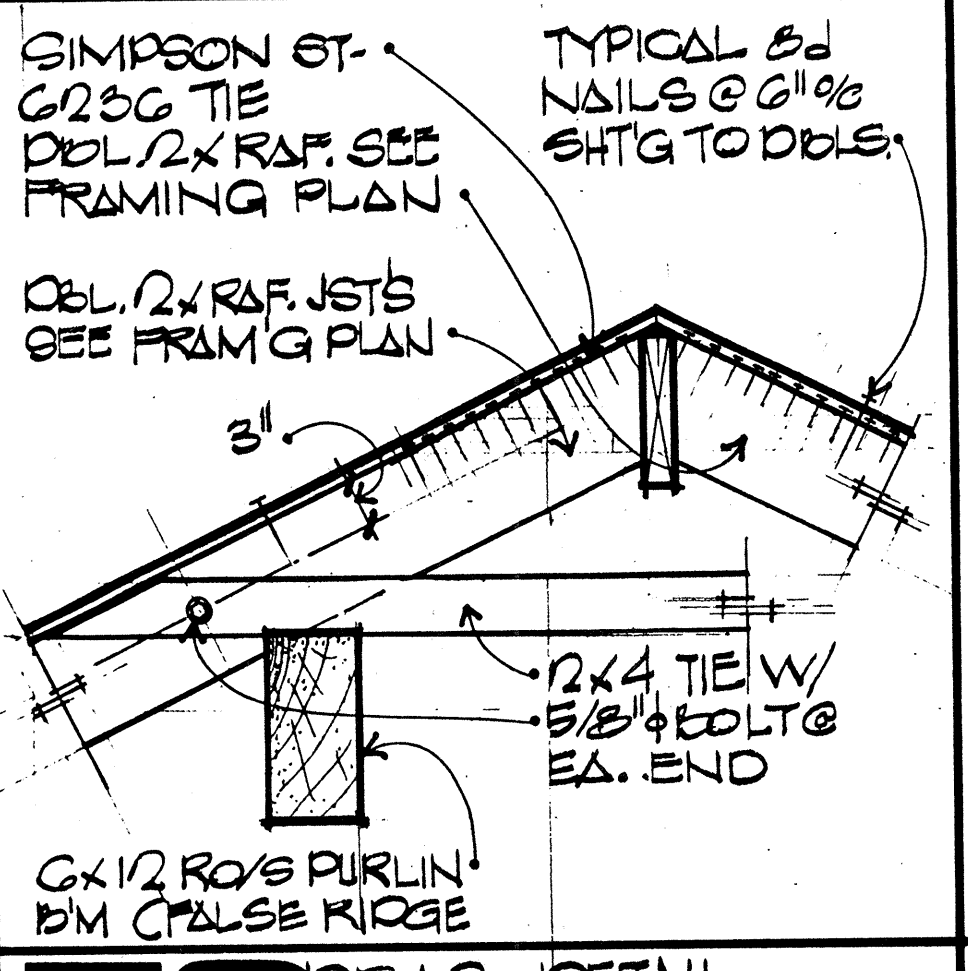
85 WINDOW SILL 3/4"=1'-0"



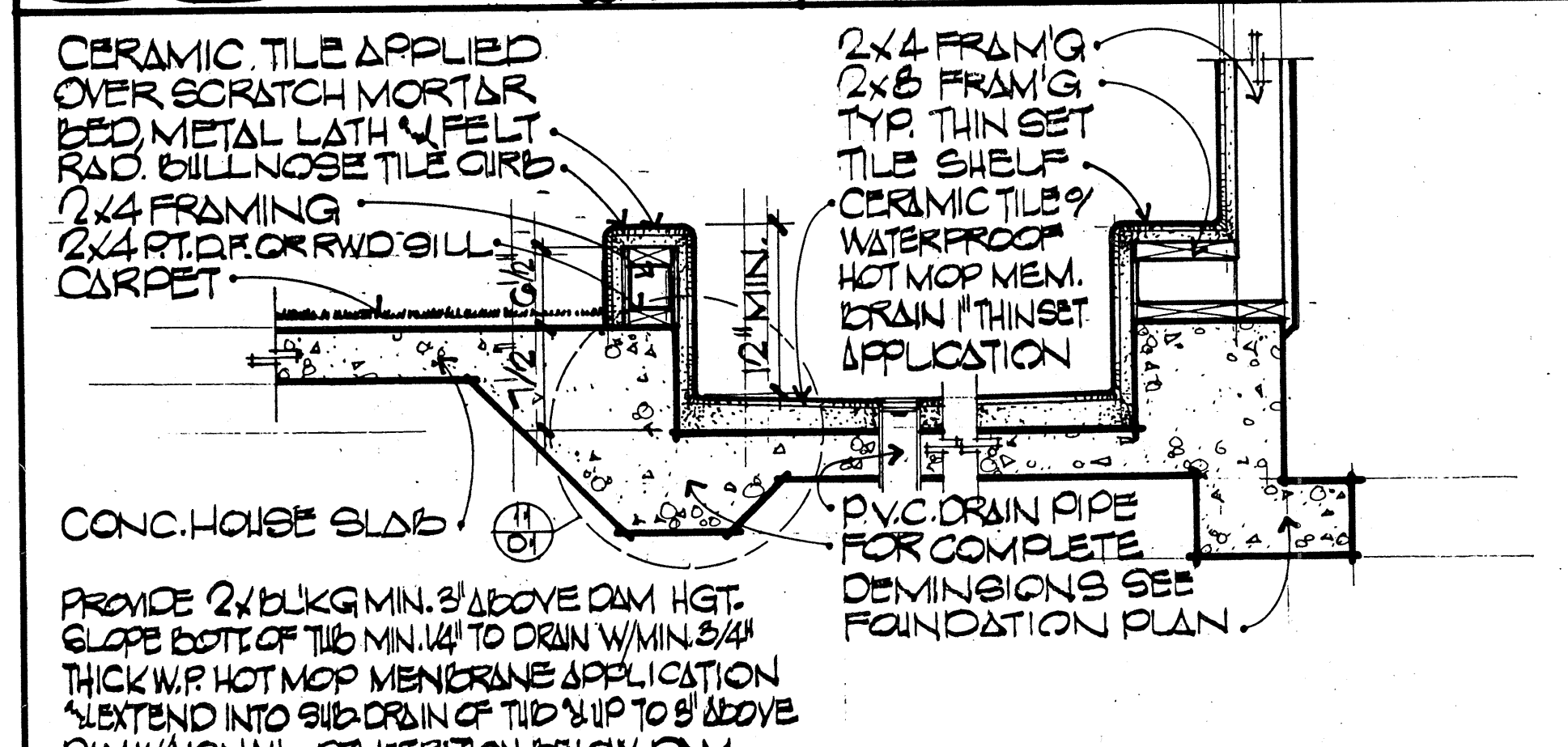
81 WINDOW JAMB 1/2"=1'-0"



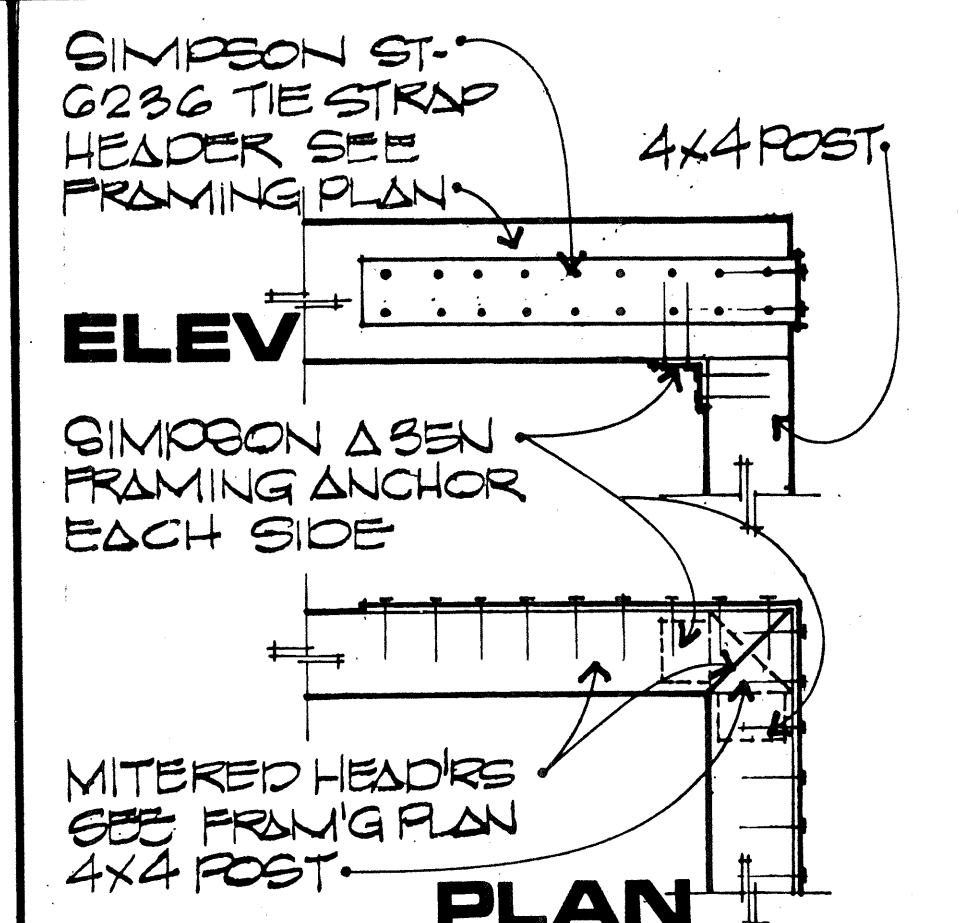
77 SHEAR PANEL 1/2"=1'-0"



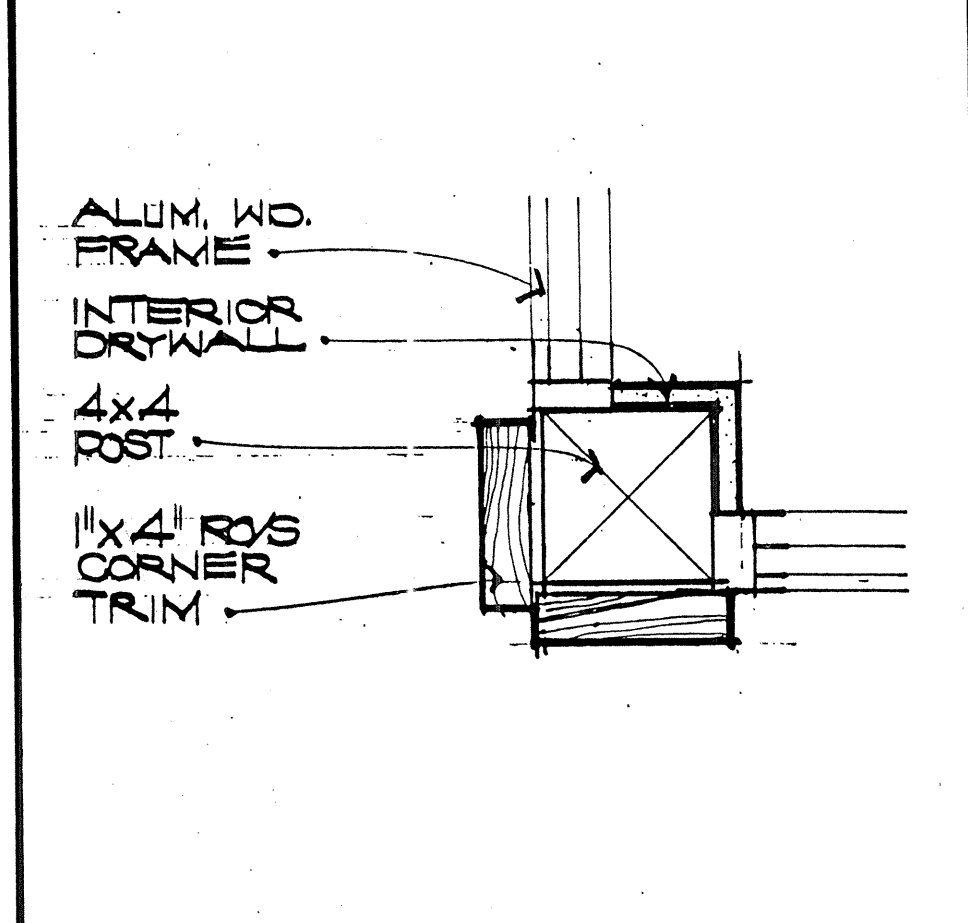
73 DRAG DETAIL 1/2"=1'-0"



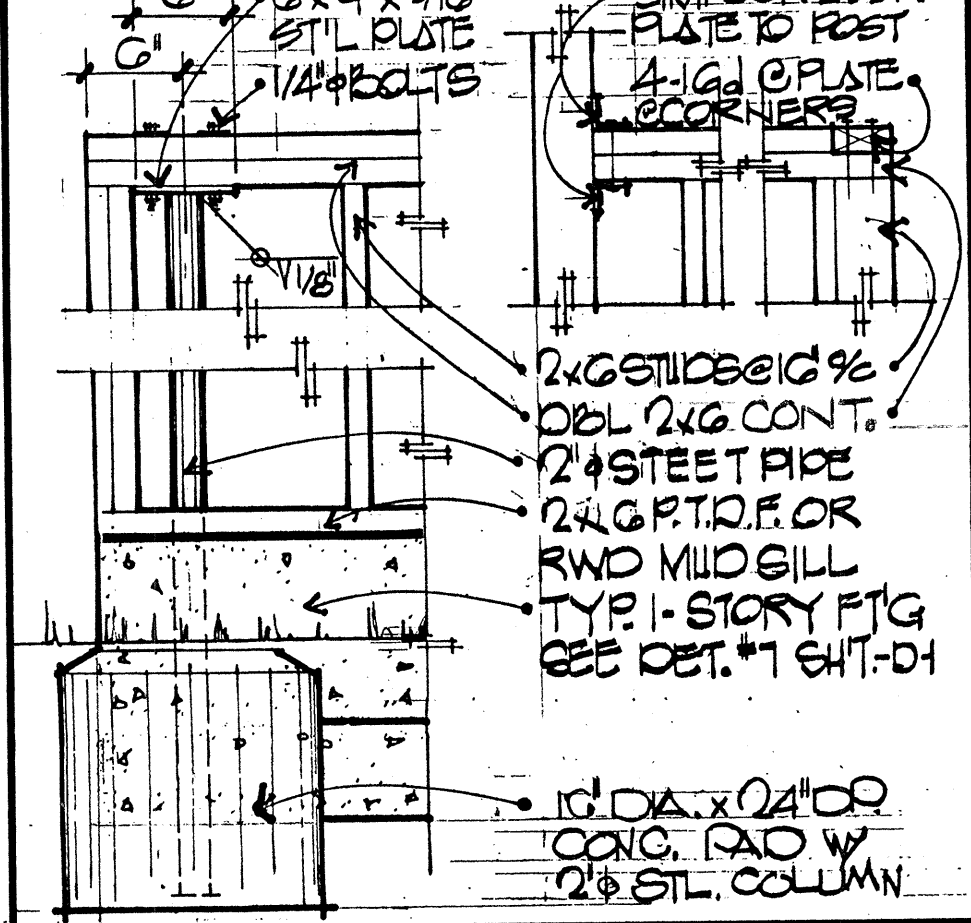
94 CERAMIC TILE SUNKEN TUB 1/2"=1'-0"



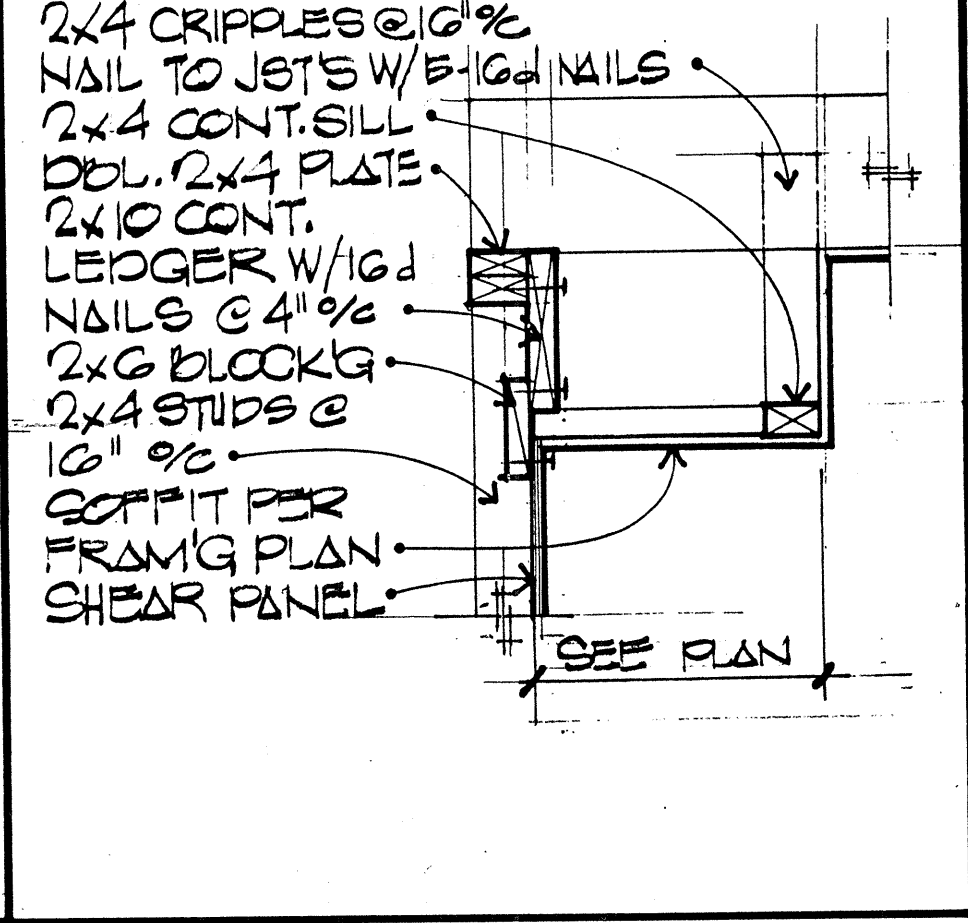
86 CORNER POST TO HQ 3/4"=1'-0"



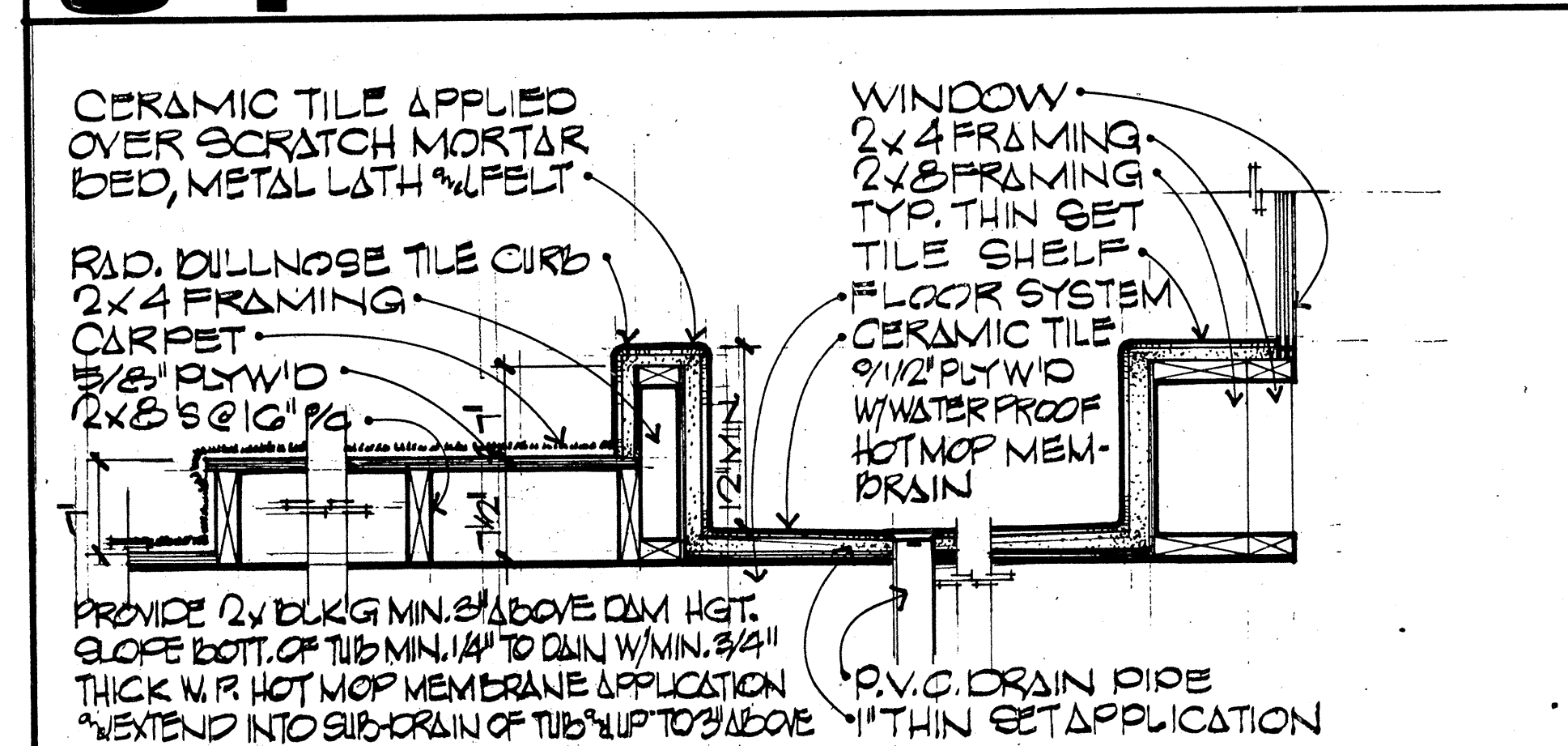
82 CORNER TRIM 3/4"=1'-0"



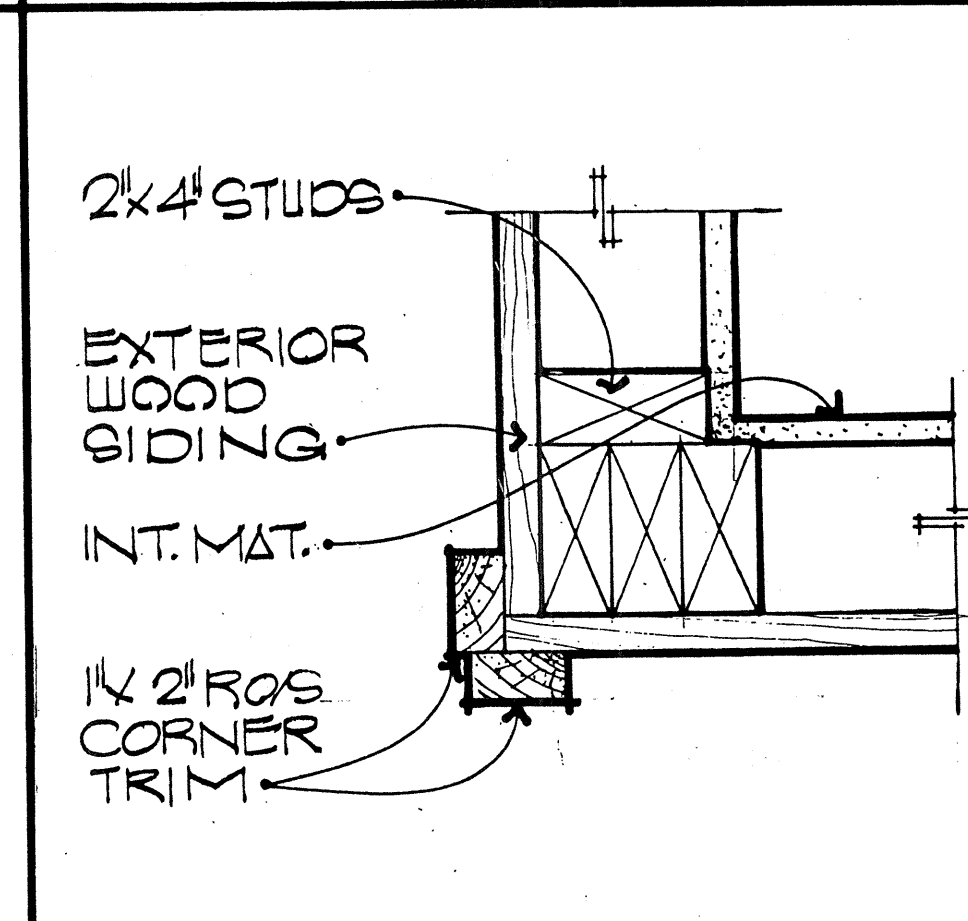
78 PRIVACY WALL 1/2"=1'-0"



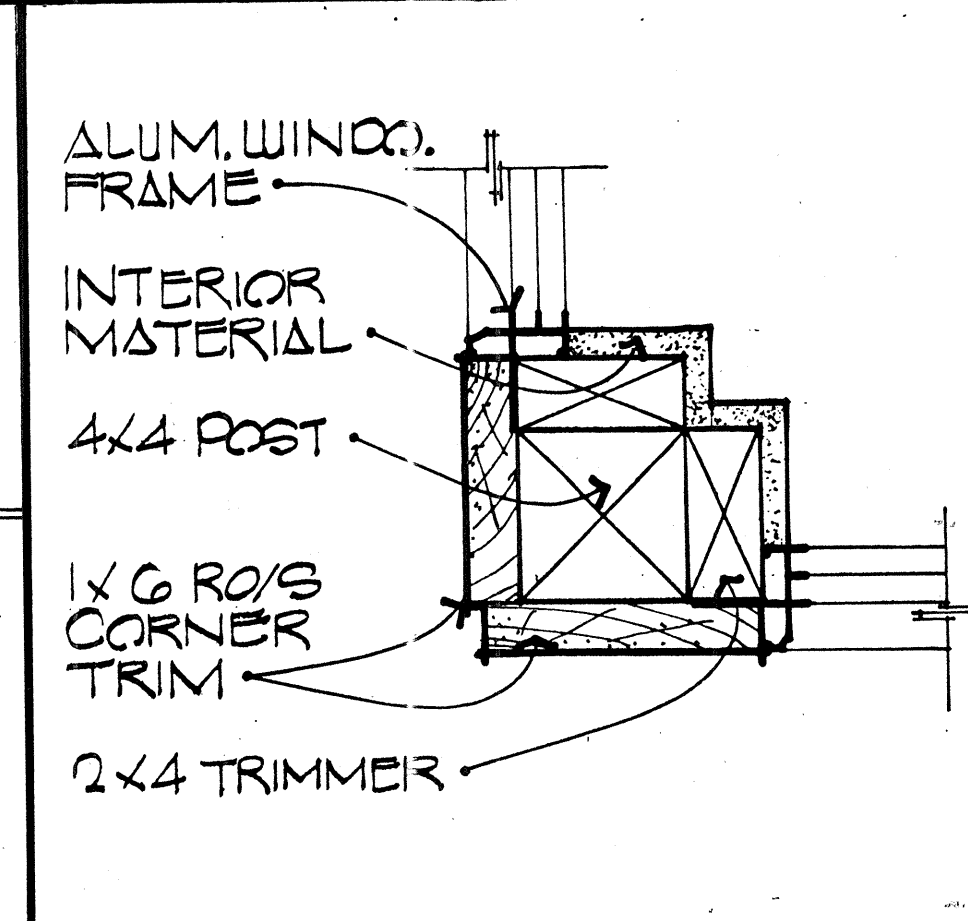
74 SHEAR TRANSFER 1/2"=1'-0"



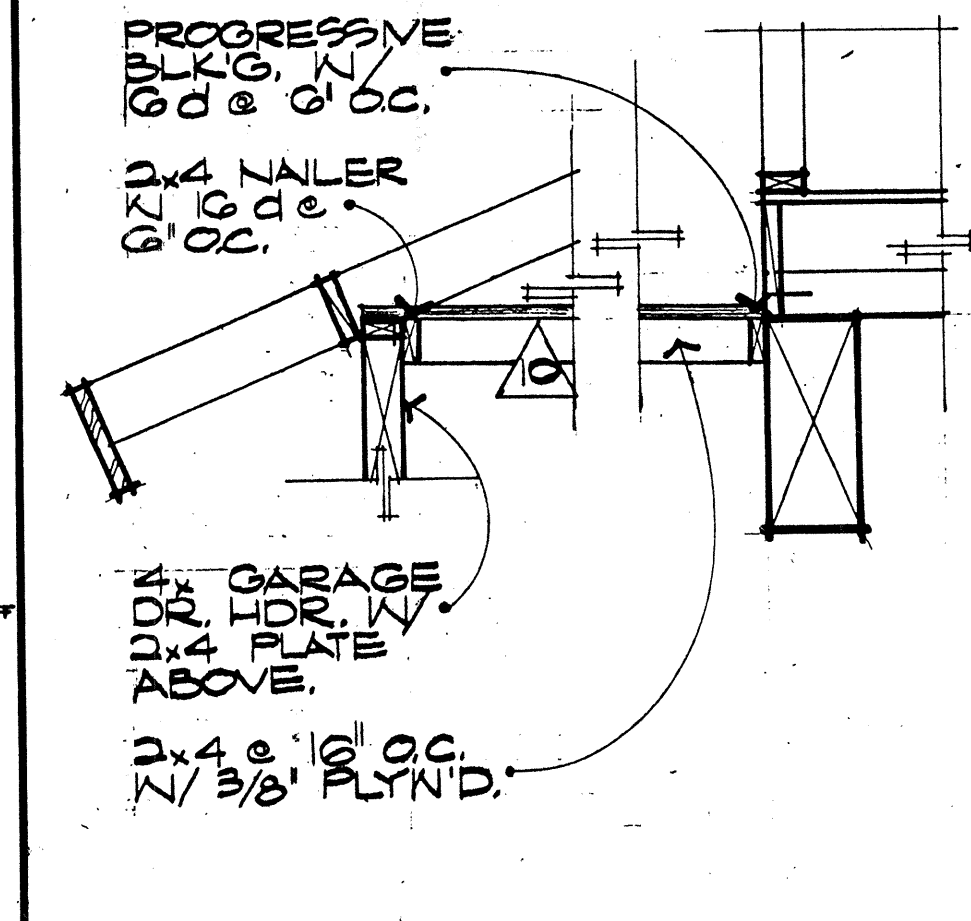
95 CERAMIC TILE SUNKEN TUB 1/2"=1'-0"



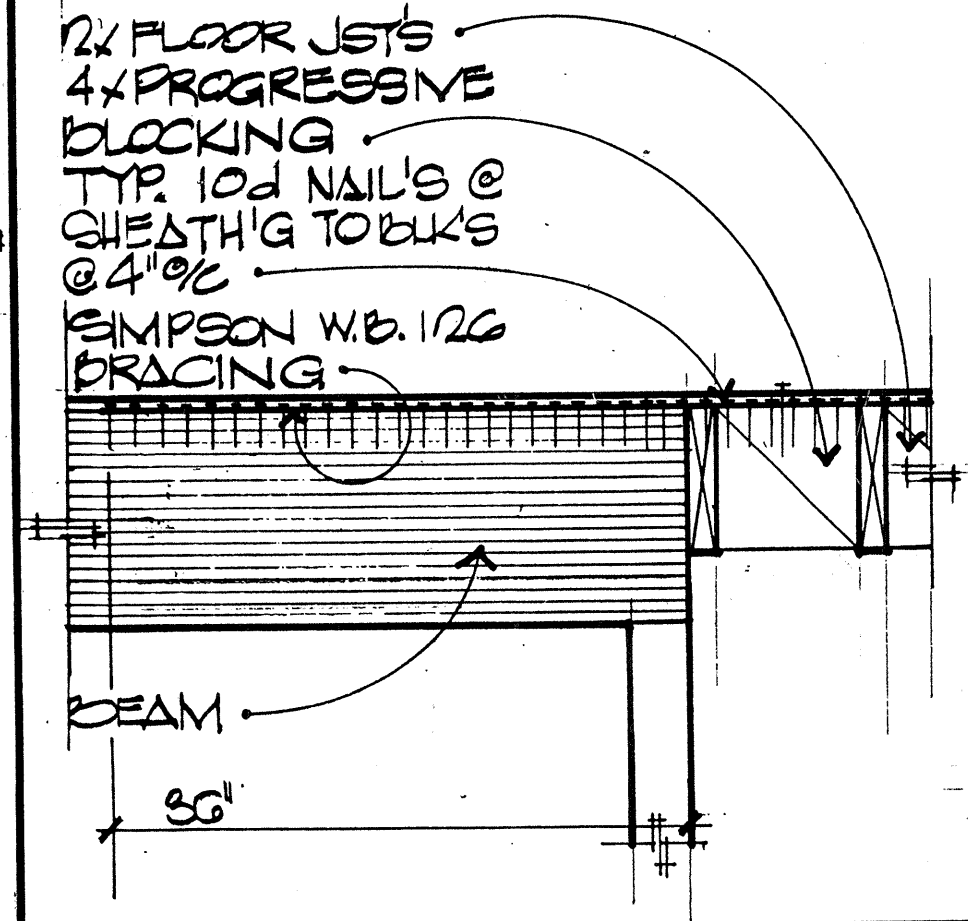
87 CORNER TRIM 3/4"=1'-0"



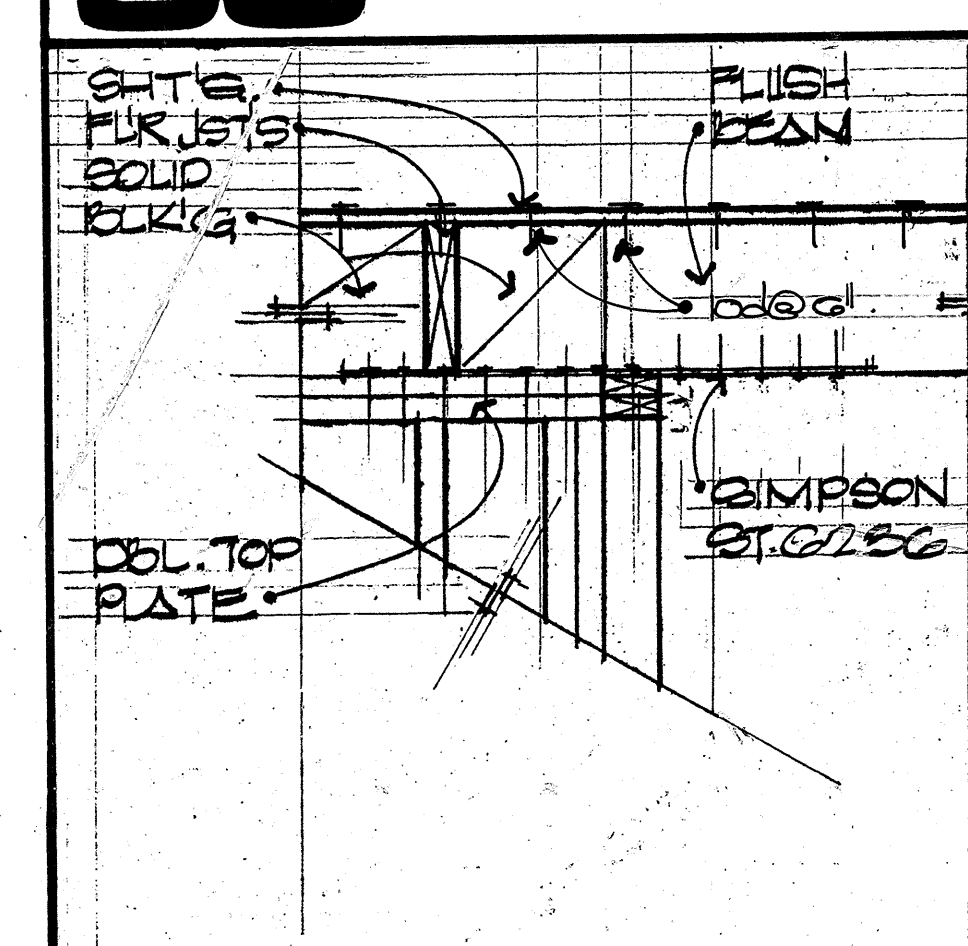
83 CORNER TRIM 3/4"=1'-0"



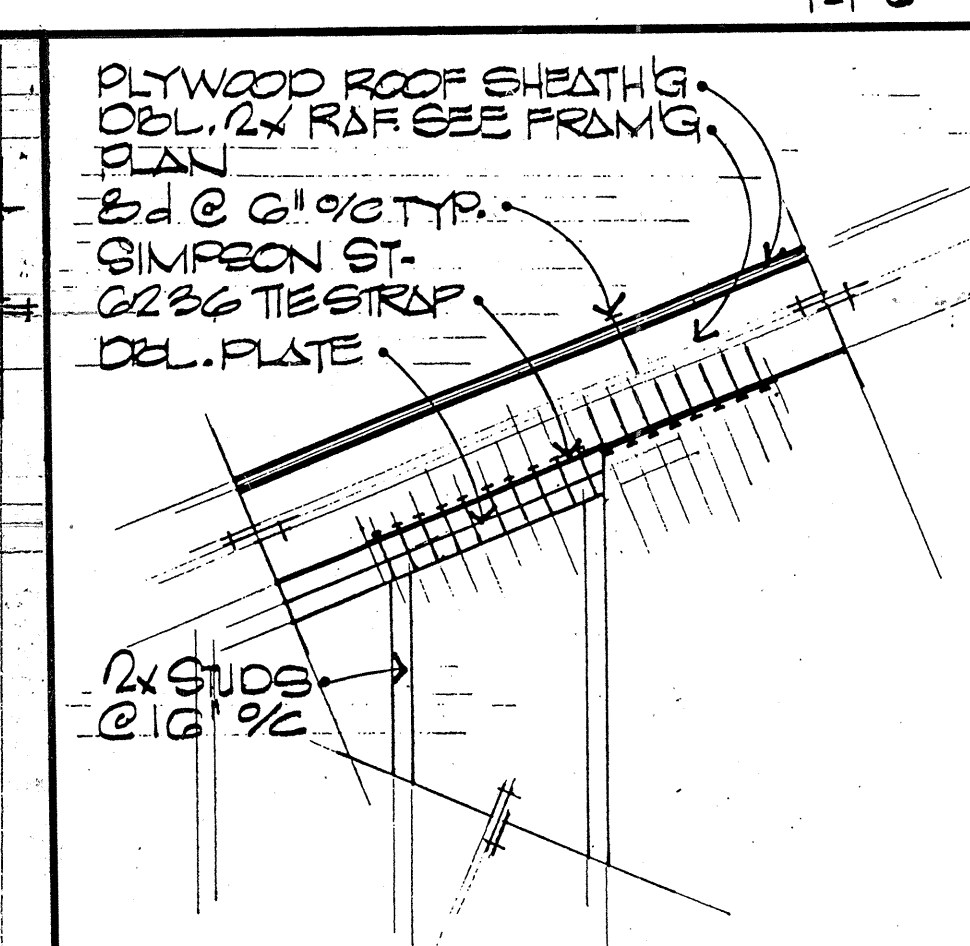
79 SHEAR PANEL @ GARAGE 3/4"=1'-0"



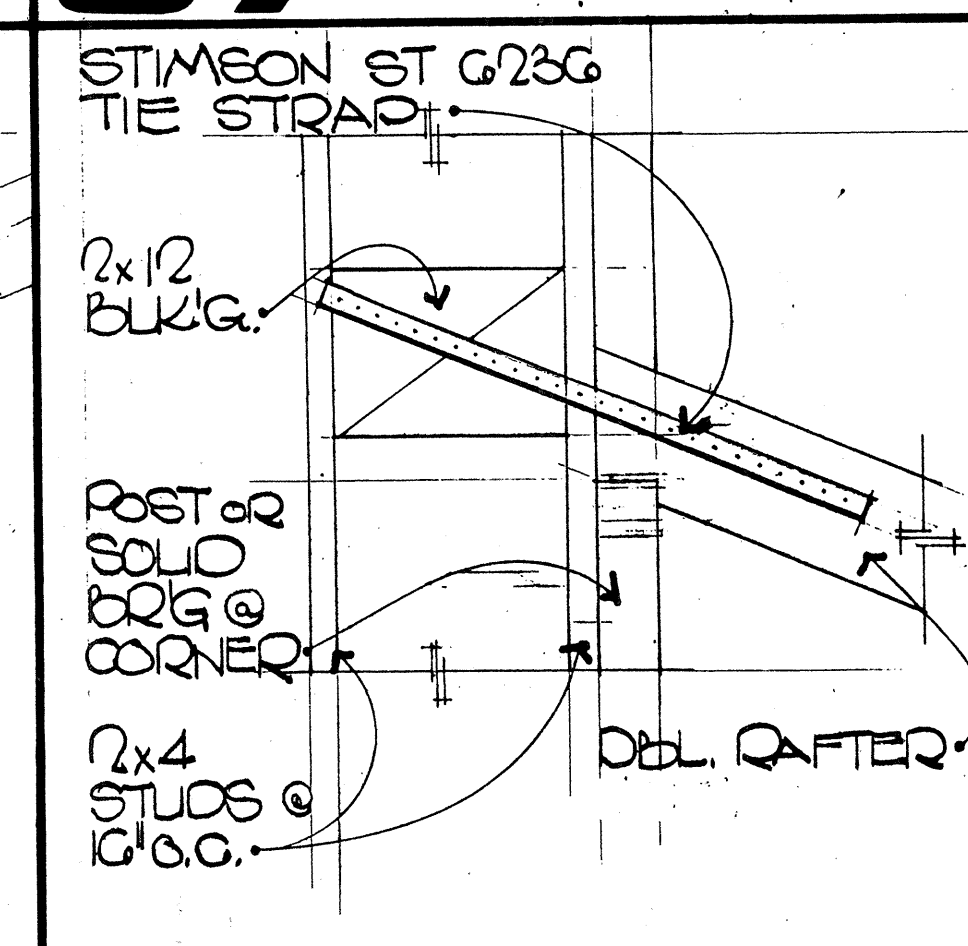
75 DRAG CONNECTION 1/2"=1'-0"



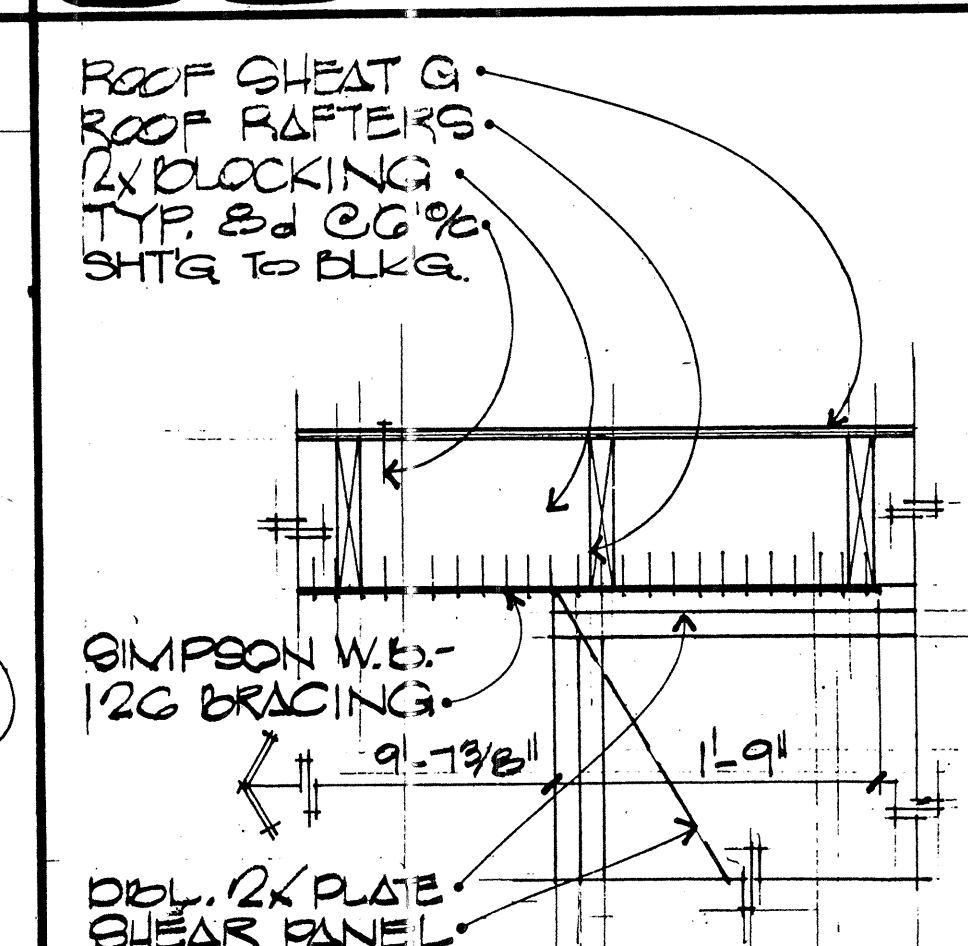
96 DRAG CONNECTION 1/2"=1'-0"



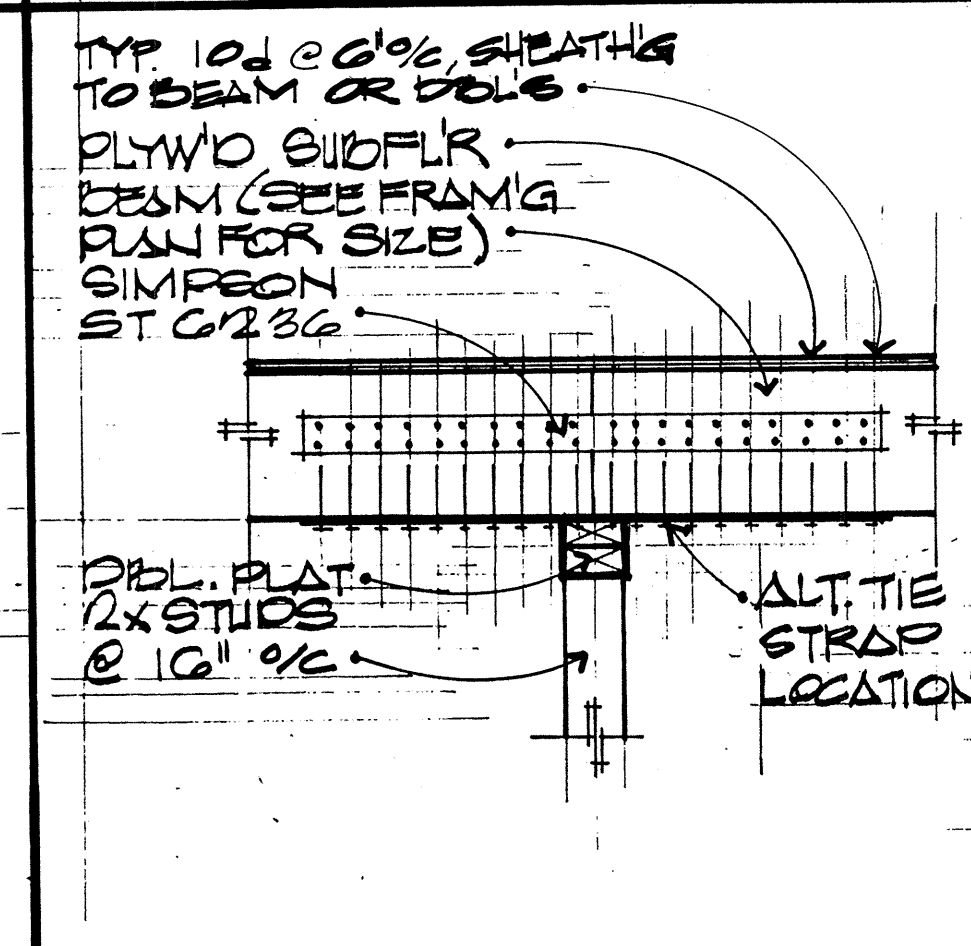
92 SHEAR TRANSFER 3/4"=1'-0"



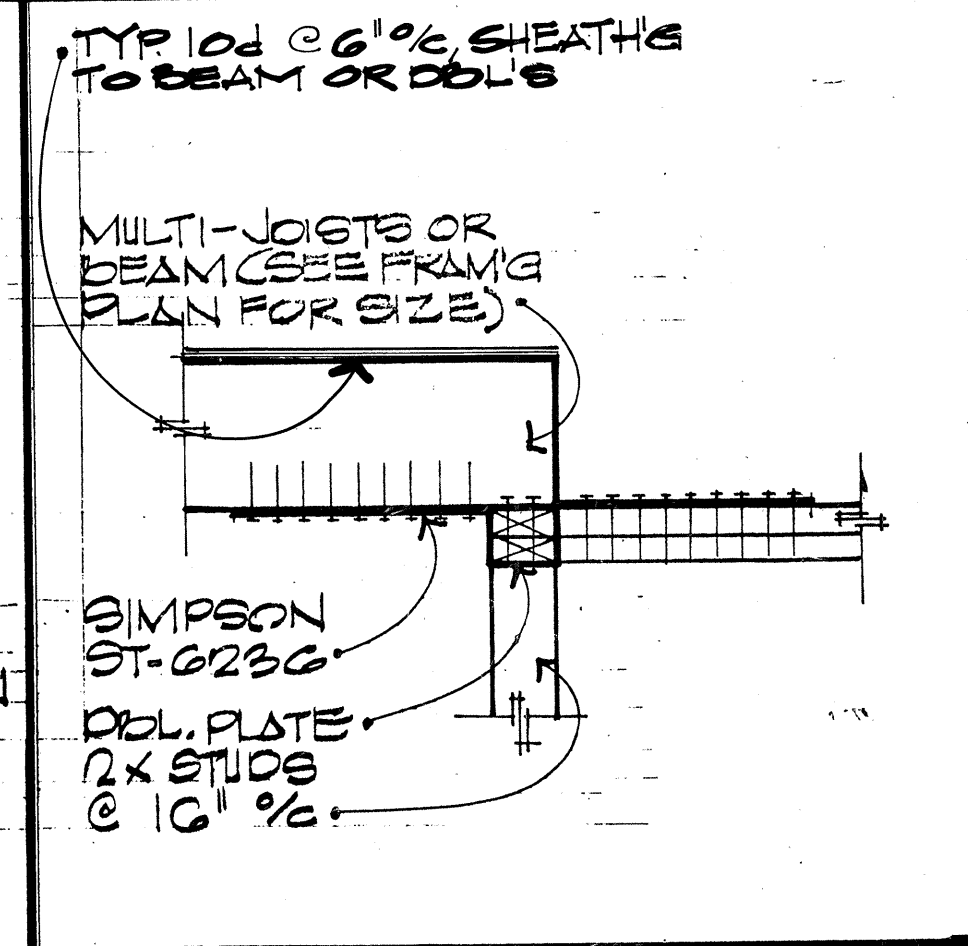
88 DRAG CONNECTION 1/2"=1'-0"



84 DRAG CONNECTION 1/2"=1'-0"

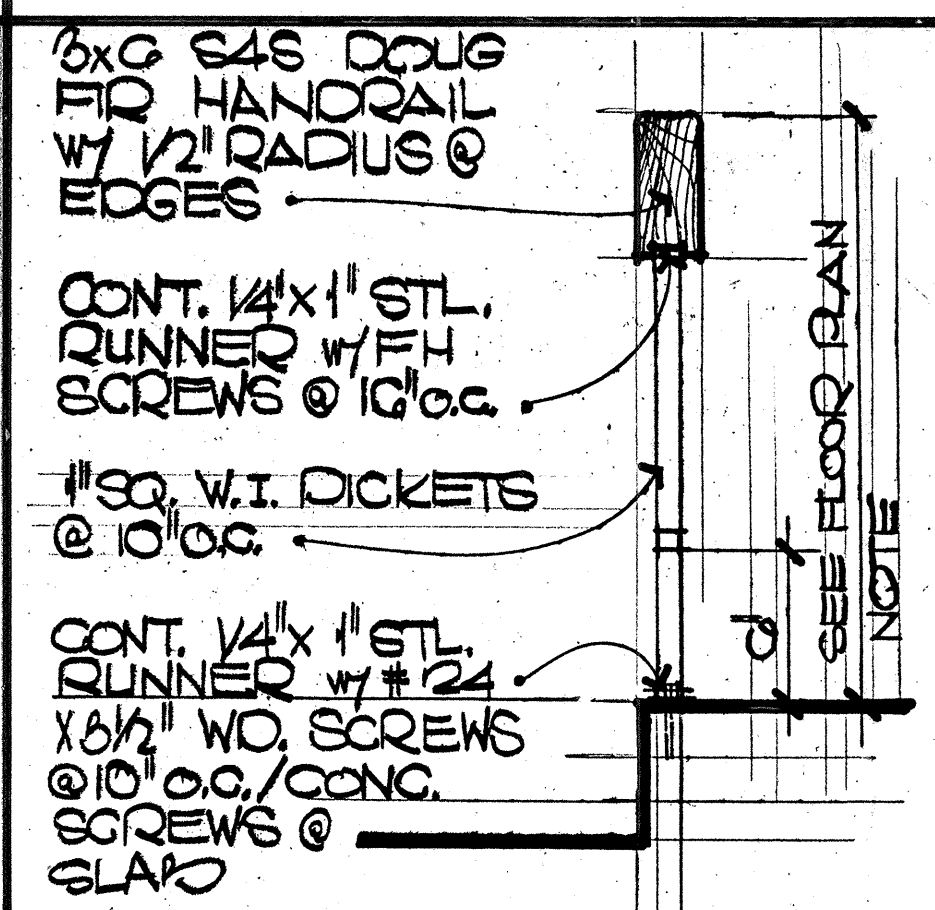


80 DRAG CONNECTION 1/2"=1'-0"

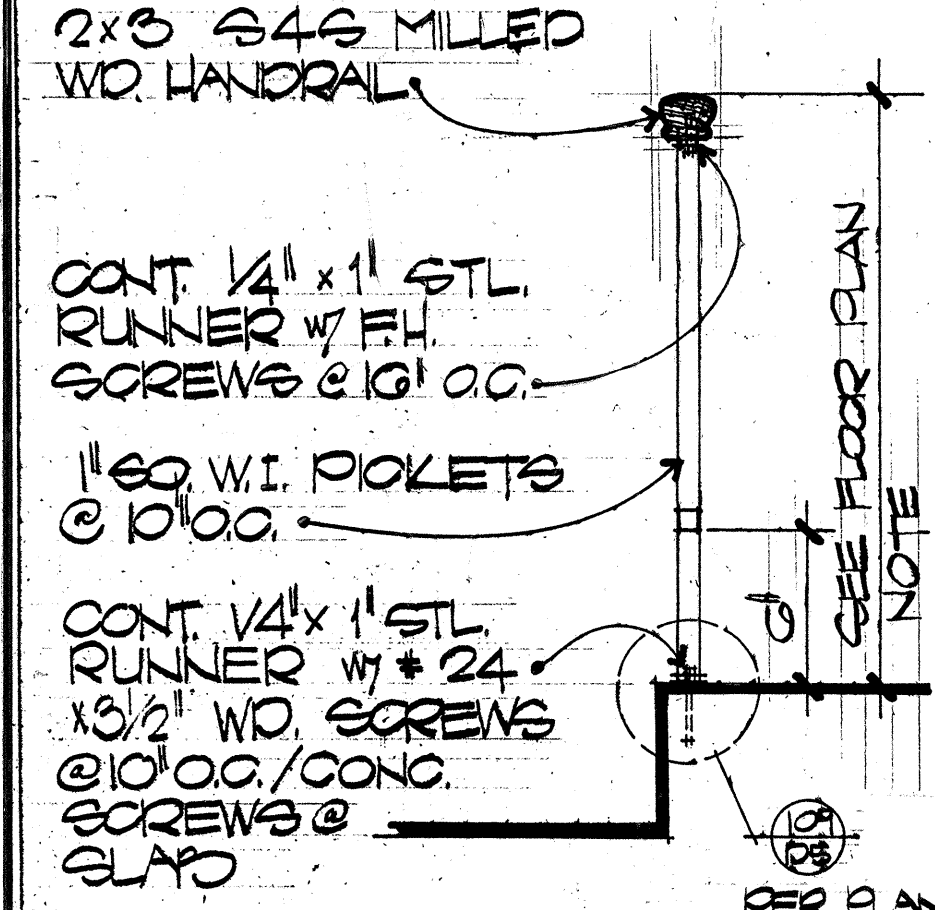


76 DRAG CONNECTION 1/2"=1'-0"

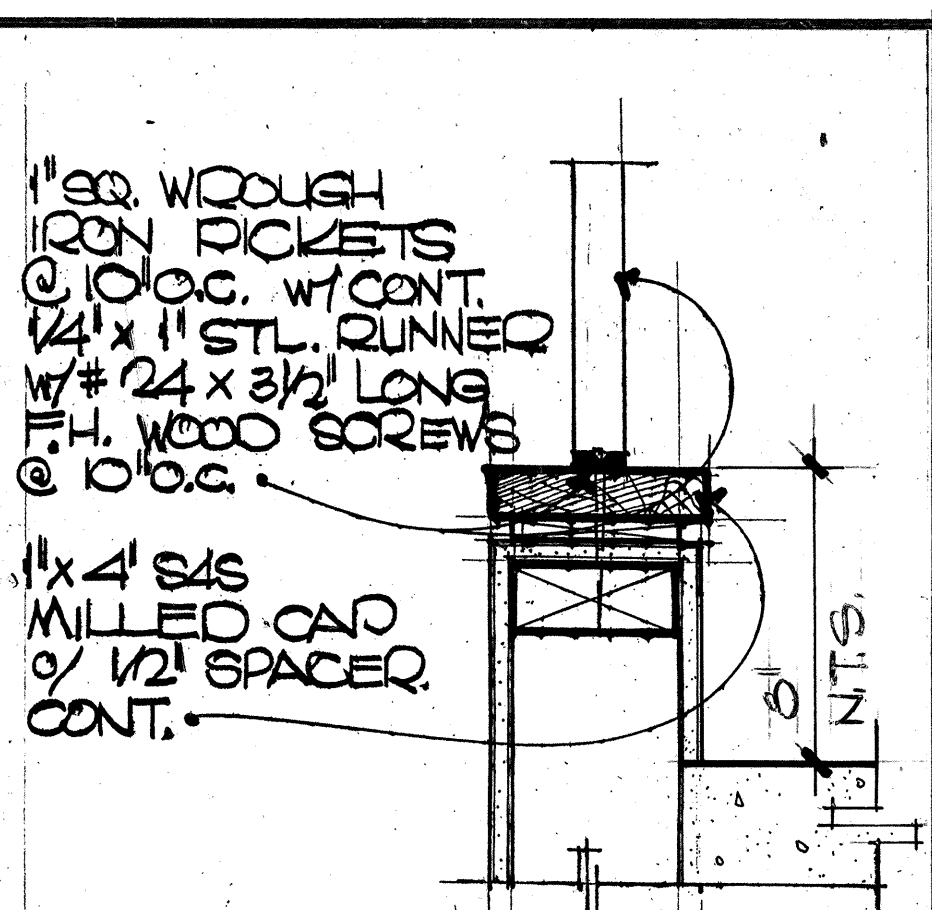
CR DESIGN
 200R BUSINESS CENTER DRIVE
 SUITE 245 (714) 792-0717
 CR DESIGN RESERVES THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.
FOR CONSTRUCTION
 DATE: _____
 JOB NUMBER: _____
 REVISIONS: _____
 Canyon Creek
 SHEET NUMBER
D-4
 ARCH. & MISC.



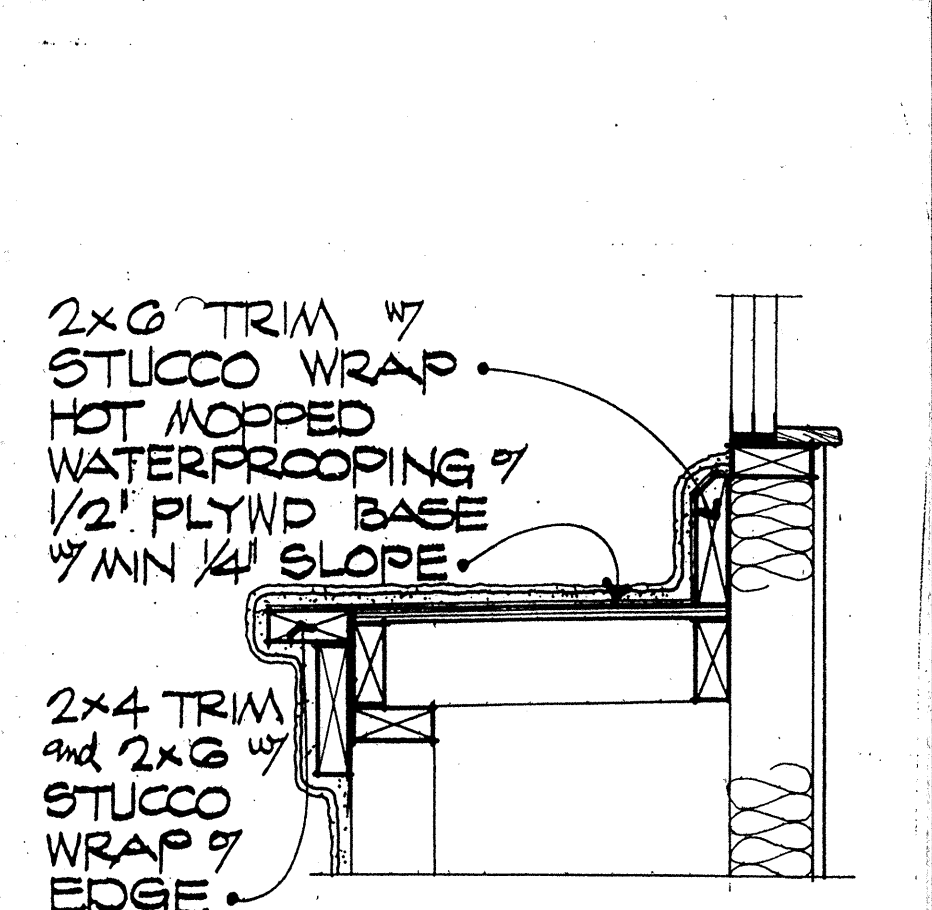
113 HANDRAIL 1 1/2" x 1'-0"



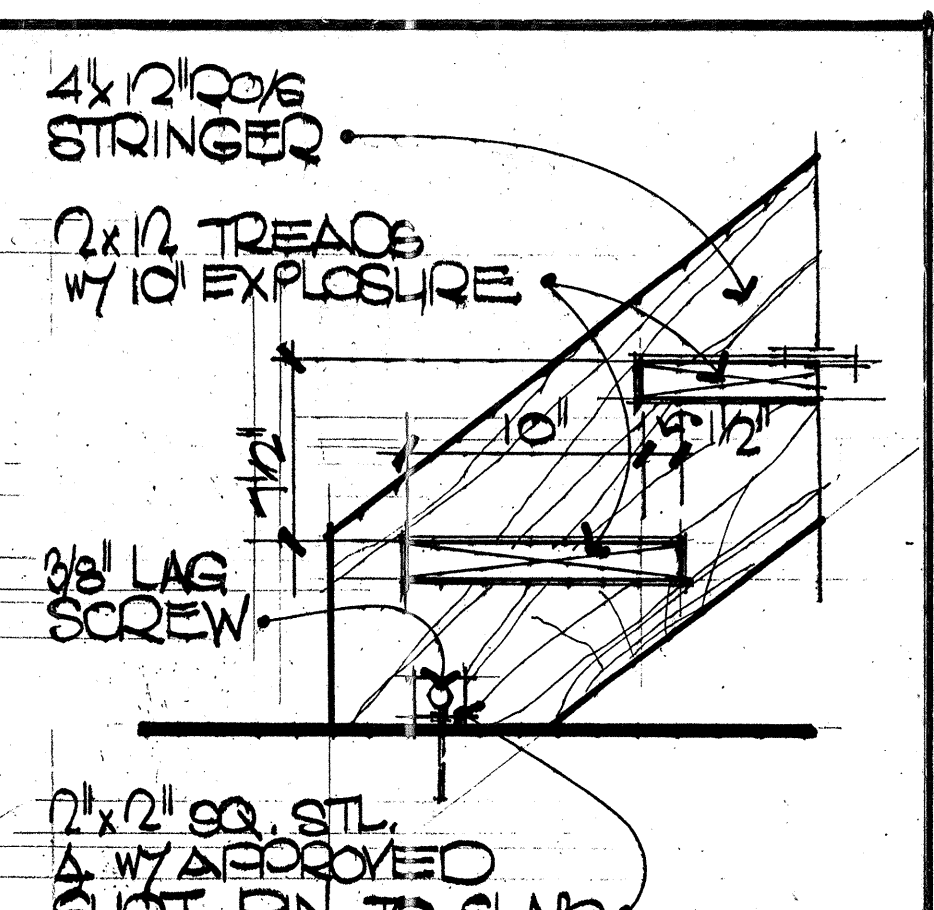
114 HANDRAIL 1 1/2" x 1'-0"



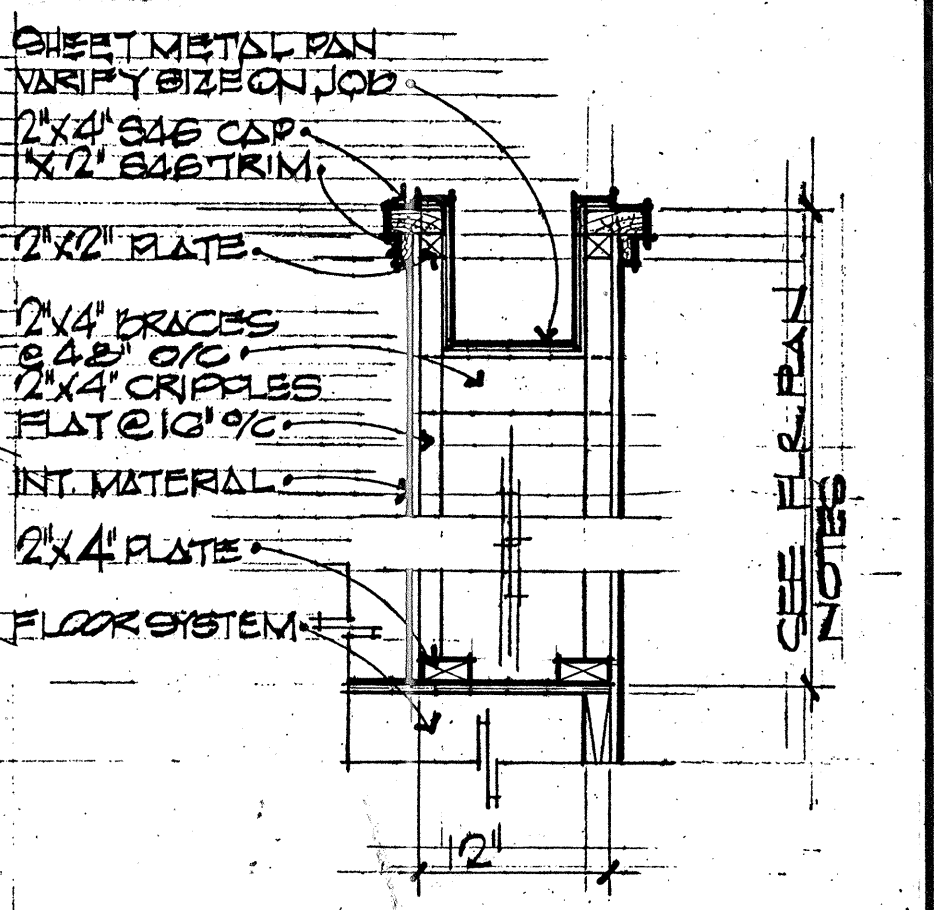
109 HANDRAIL BASE 6" x 1'-0"



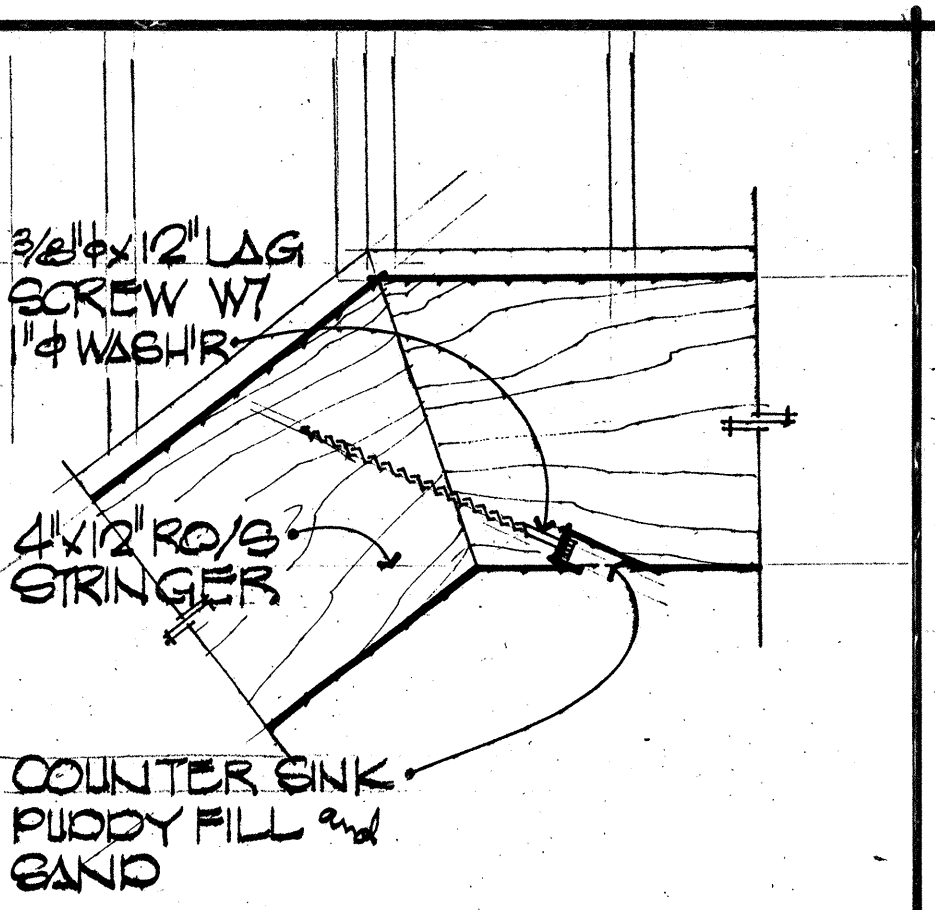
110 STUCCO ROTSHELF 6" x 1 1/2" x 1'-0"



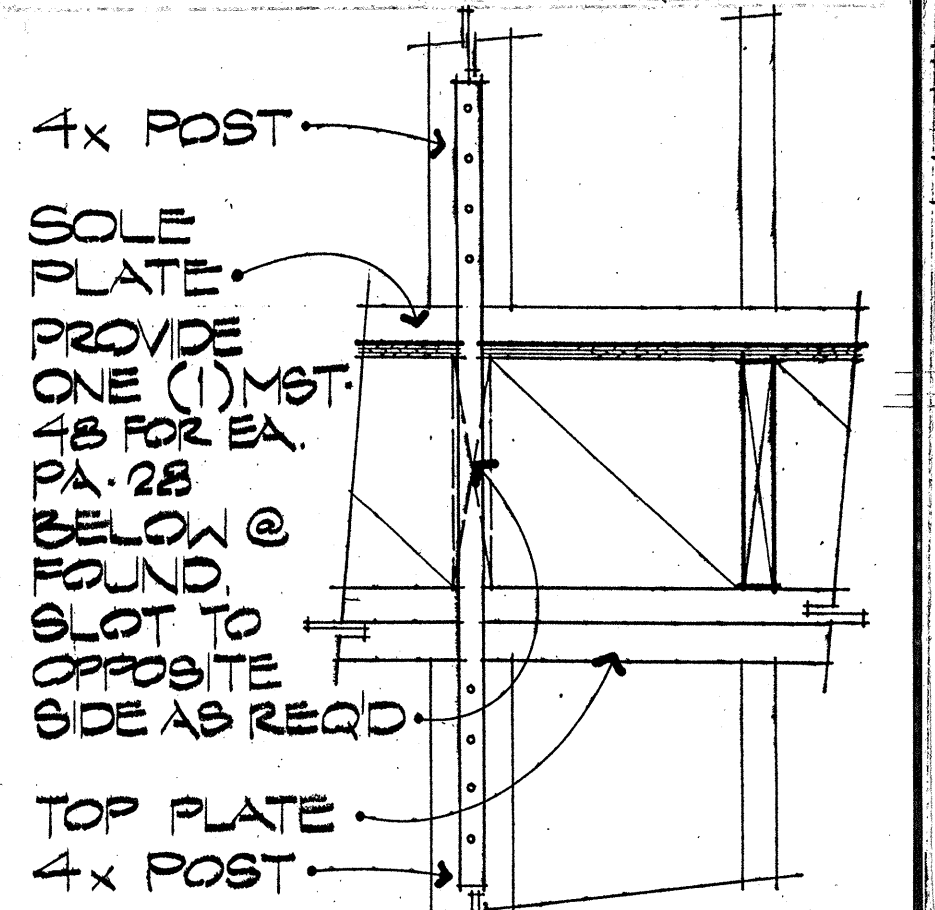
105 STRINGER TO SLAB 1 1/2" x 1'-0"



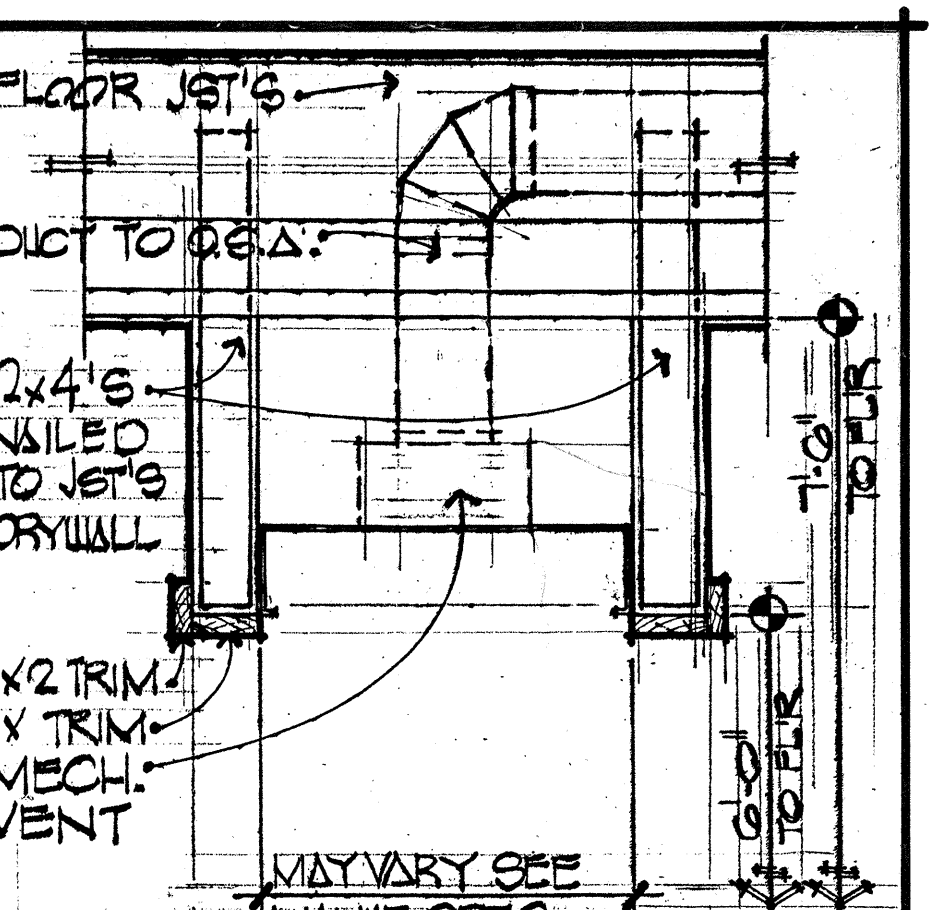
106 PLANTER 1" x 1'-0"



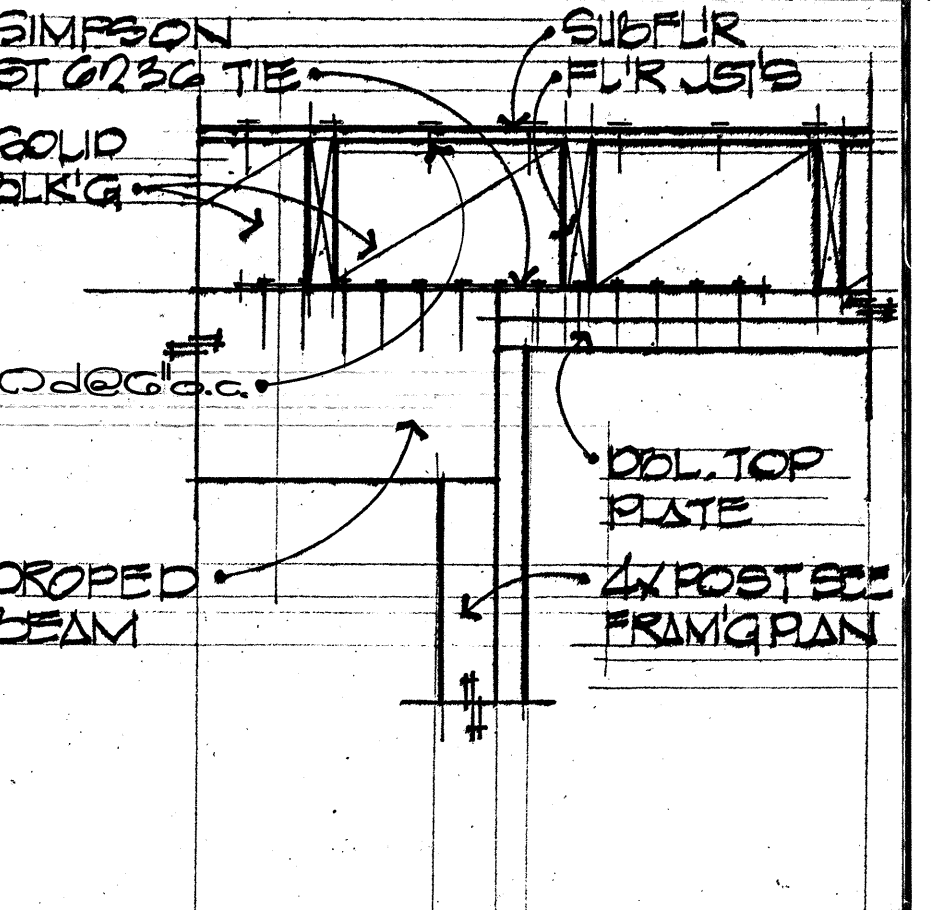
101 RINGER CONNECT'N 1 1/2" x 1'-0"



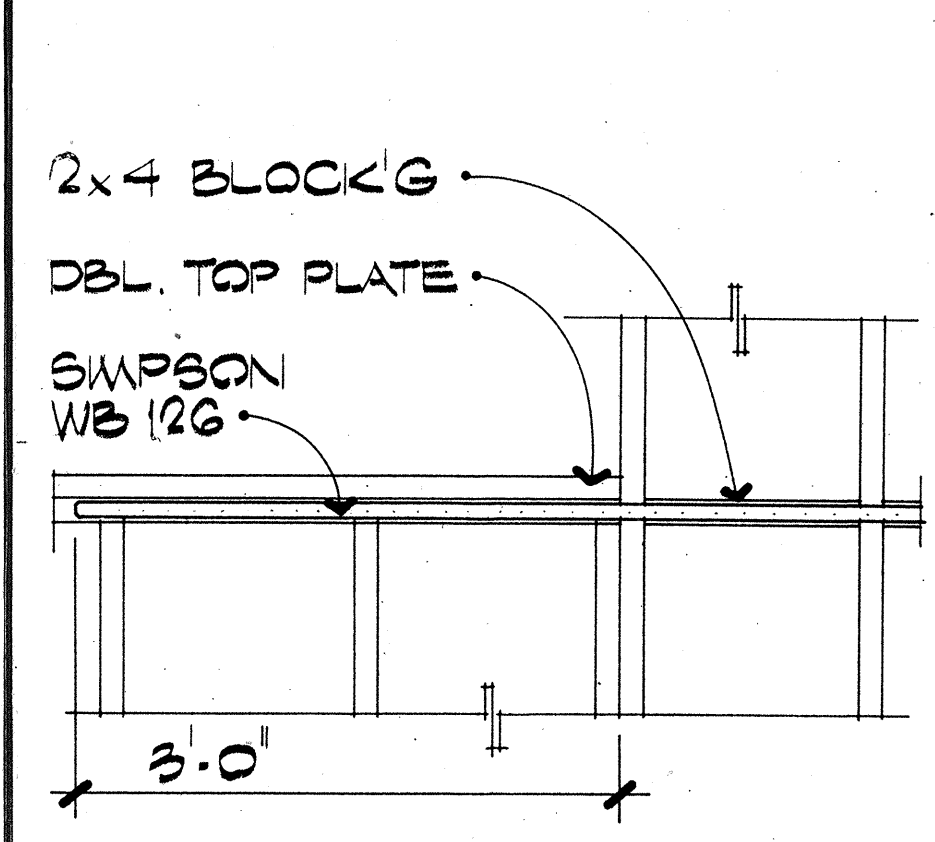
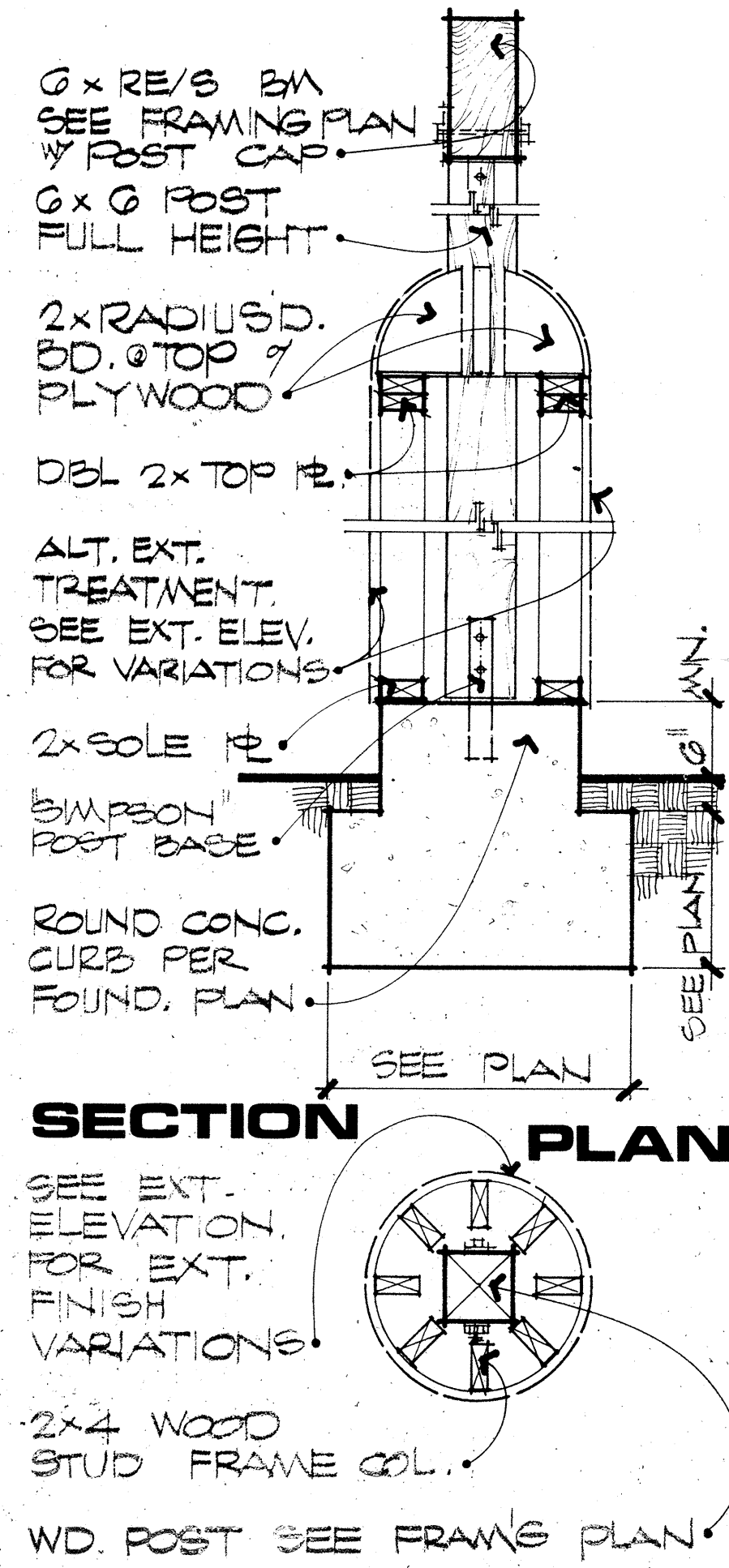
102 HOLD DOWN 1 1/2" x 1'-0"



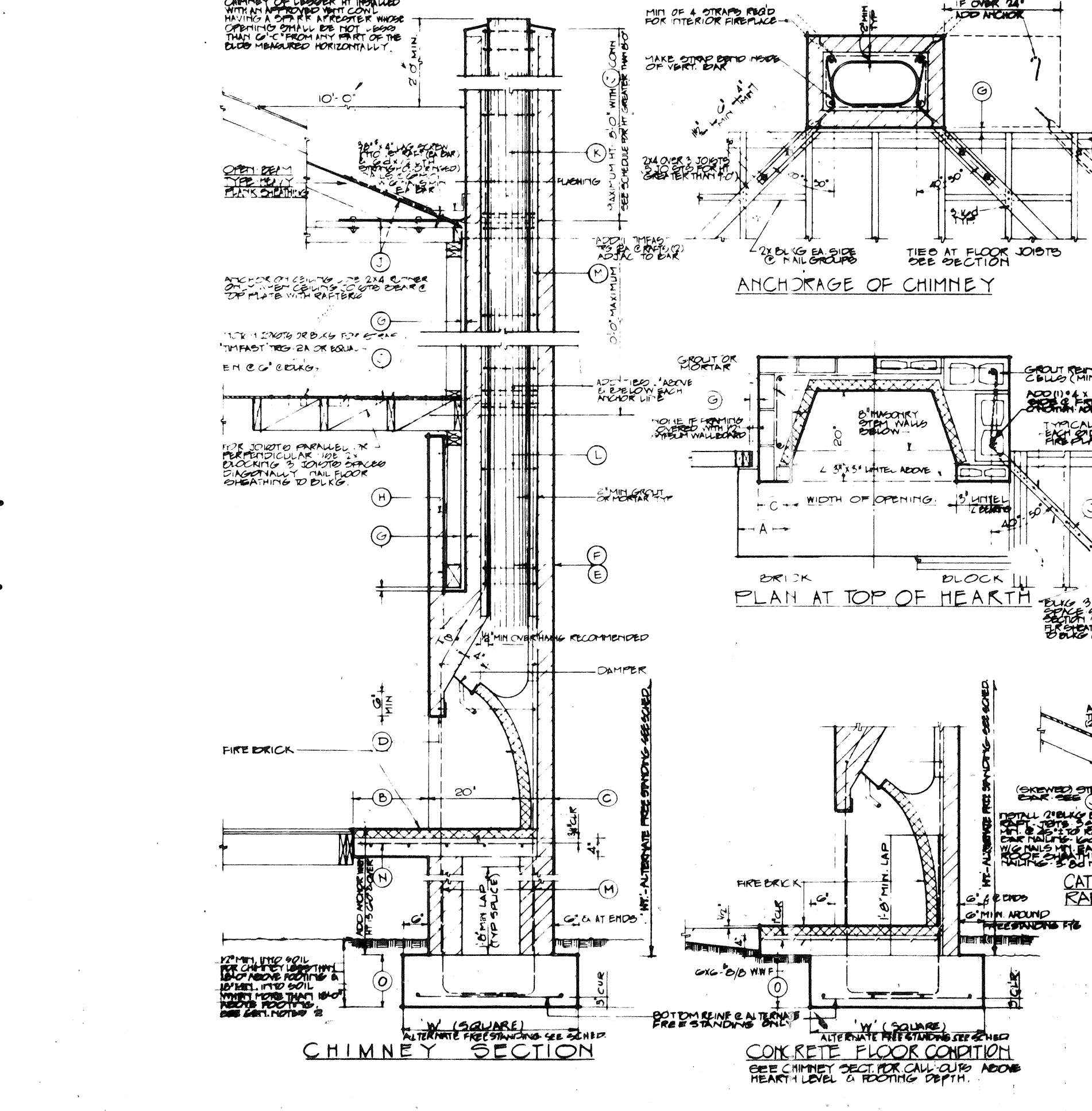
97 MECH VENT 1" x 1'-0"



98 DRAG CONNECTION 1 1/2" x 1'-0"



115 DRAG CONNECTION 1" x 1'-0"



112 CONVENTIONAL FIREPLACE DETAIL

FLUE LINING EFFECTIVE AREA	
OUTSIDE DIMENSION OF FLUE LINING	EFFECTIVE AREA
18" x 18"	12.56
20" x 20"	15.71
22" x 22"	19.36
24" x 24"	23.52
26" x 26"	28.09
28" x 28"	33.07
30" x 30"	38.48
32" x 32"	44.35
34" x 34"	50.66
36" x 36"	57.41
38" x 38"	64.60
40" x 40"	72.23
42" x 42"	80.30
44" x 44"	88.81
46" x 46"	97.76
48" x 48"	107.16
50" x 50"	117.00
52" x 52"	127.28
54" x 54"	138.00
56" x 56"	149.16
58" x 58"	160.76
60" x 60"	172.80

ITEM	LISTED	1970 UNIFORM BUILDING CODE	MAX. SPA
HEARTH SLAB REINFORCING	A	10"	5"
HEARTH SLAB PROTECTION	B	1/2"	1/2"
THICKNESS OF HEARTH WALL	C	8"	8"
FIREPLACE WITH FLUE LINING	D	12"	12"
WALLS WITH FLUE LINING	E	8"	8"
WALLS WITH UNLINED FLUE CLEARANCES	F	18"	18"
WOOD FRAME CONSUMABLE MATERIAL	G	1/2"	1/2"
VENEER WALL (SEE NOTE D)	H	1/2"	1/2"
CHIMNEY ANCHOR	J	1/2"	1/2"
EFFECTIVE FLUE AREA (BASED ON AREA OF HEARTH OPENING)	K	10"	10"
HORIZONTAL REINFORCING BARS	L	1/2"	1/2"
VERTICAL REINFORCING BARS	M	1/2"	1/2"
HEARTH SLAB REINFORCING	N	1/2"	1/2"
FOOTING THICKNESS	O	18"	18"

GENERAL NOTES:

1. MASONRY WORK SHALL BE IN ACCORDANCE WITH CHAPTER 21 OF UNIFORM BUILDING CODE (U.B.C.) LATEST EDITION, FOR MATERIALS & CONSTRUCTION.
2. FOOTING SHALL BE FOUND ON MIN. 12" DIA. (NATURAL OR COMPACTED FILL) OF MIN. BEARING CAPACITY = 1500 P.S.F.
3. MORTAR MIX SHALL CONTAIN 1 PART PORTLAND CEMENT TO 3 PARTS HYDRATED LIME TO 8 PARTS SAND, MIXED WITH FRESH WATER FOR WORKABILITY & CURABLE MIX.
4. GROUT MIX SHALL CONTAIN 1 PART PORTLAND CEMENT TO 3 PARTS SAND TO 2 PARTS FINE GRAVEL WITH REPAIRABLE WATER FOR FLOW. WITHOUT PORTLAND CEMENT, THE GROUT SHALL BE 100% SAND.
5. REINFORCING STEEL SHALL BE WITH AXIS OR AS DEVELOPED BARS.
6. VENEER TIE SHALL BE CORROSION RESISTANT METAL IN ACCORDANCE WITH U.B.C.

ALTERNATE (1) (SOL BRASS 1000 P.S.F. MAX.)

1 STORY FREE STANDING FIRE PLACE FOUNDATION SCHEDULE	FOUNDATION	FOUNDATION	FOUNDATION
HEIGHT: FT.	FOOTING W/ WALL	FOOTING W/ WALL	FOOTING W/ WALL
10' & 11'	4'-0"	4'-0"	4'-0"
12' & 13'	4'-0"	4'-0"	4'-0"
14' & 15'	5'-0"	5'-0"	5'-0"
16' & 17'	5'-0"	5'-0"	5'-0"

SCHEDULE-TIE BARS (2) CORR. @ ROOF SEE (3) FOR BARS

CHIMNEY HEIGHT	1" DIA. BLOCK	2" DIA. BLOCK	3" DIA. BLOCK
9'-0"	2-1/4"	2-1/4"	2-1/4"
10'-0"	2-1/4"	2-1/4"	2-1/4"
11'-0"	2-1/4"	2-1/4"	2-1/4"
12'-0"	2-1/4"	2-1/4"	2-1/4"

120 STUCCO COLUMN 1" x 1'-0"

116

CR DESIGN
 2022 BUSINESS CENTER DRIVE
 IRVINE, CALIFORNIA 92715
 SUITE 245 (714) 955-9717
 CR DESIGN '87

FOR CONSTRUCTION
 DATE: NUMBER: JOB NAME: REVISIONS:

RESERVE THE COMMON LAW COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS.

Canyon Creek

SHEET NUMBER